



Planning & Zoning Commission Staff Report - UPDATE

Project Name: Foothill Crossing Subdivision Preliminary Plat

Project Number: PZ-15-00039

Report Date: April 8, 2015

Meeting Date: April 8, 2015

Applicant

Jacob Ballstaedt
Garbett Homes
273 North East Capitol Street
Salt Lake City, UT 84103

Property Owner

Sweetwater Development Group LC
273 North East Capitol Street
Salt Lake City, UT 84103

Engineer

Gareth Powell
Uinta Engineering & Surveying Inc.
2638 Commercial Way
Rock Springs, WY 82901

Project Location

East Side of Foothill Boulevard,
Adjacent to Morningside Phase 1

Existing Zoning

R-3 (Medium Density Residential) and
R-5 (High Density Residential)

Property Owner Notification

Mailed to property owners in 200'
radius on 3/2/15.

Previous P&Z Actions

See Attachment A.

Ordinance References

§16-502

Staff Representative

Jennifer Shields, AICP, City Planner

Attachments

Revised Preliminary Plat dated 4/6/15
(full-size)

Update

Revised plans were submitted on April 6, 2015 and are attached with this report. Comments submitted on the revised plans were as follows:

Engineering & Operations (Meghan Jackson):

1. Drainage, grading, etc. submittals are required with Final Plat.

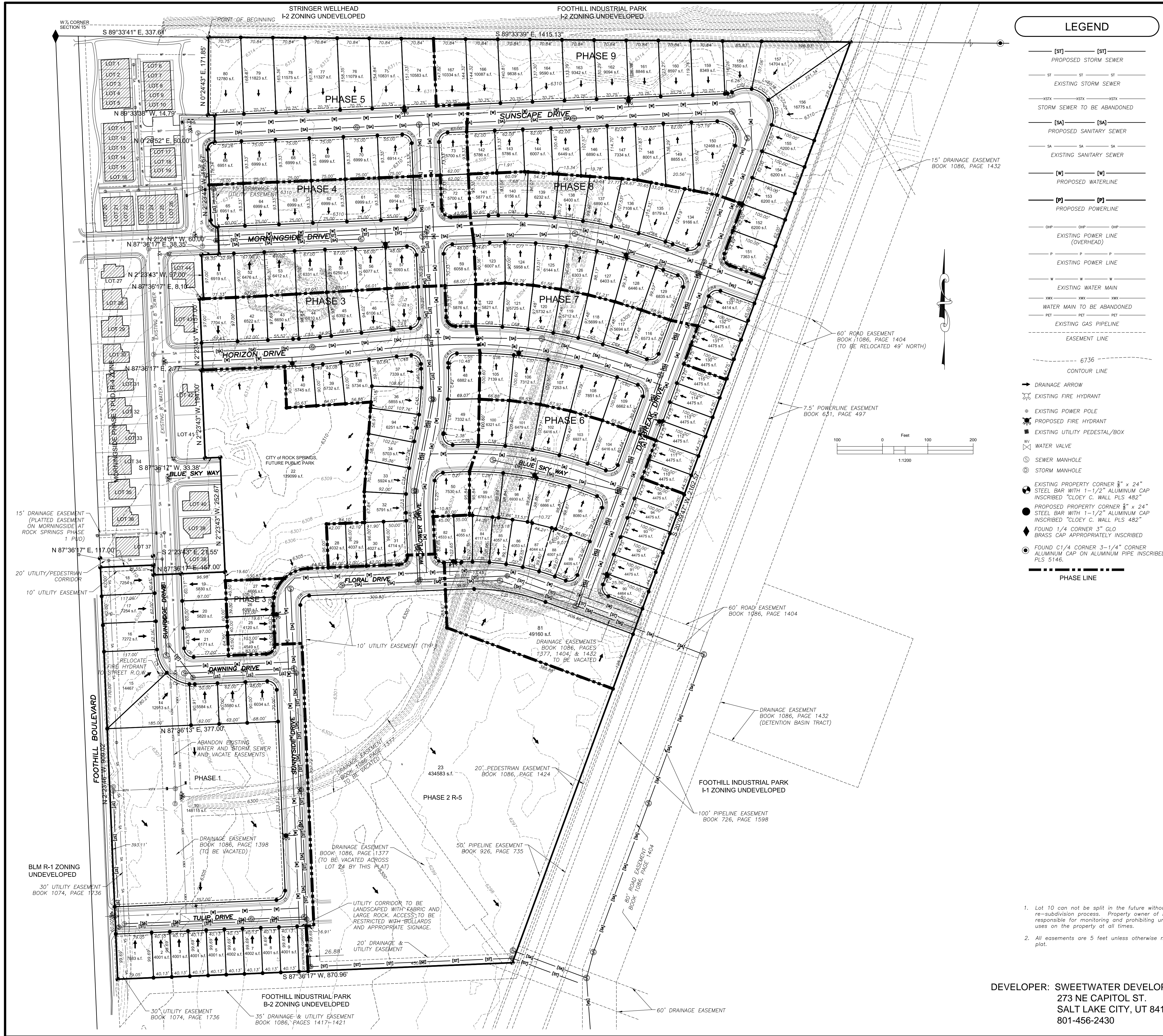
Wastewater Department (Nick Seals):

1. Construction drawings will be approved separately.

At this time all outstanding issues have been resolved on the Preliminary Plat drawing.

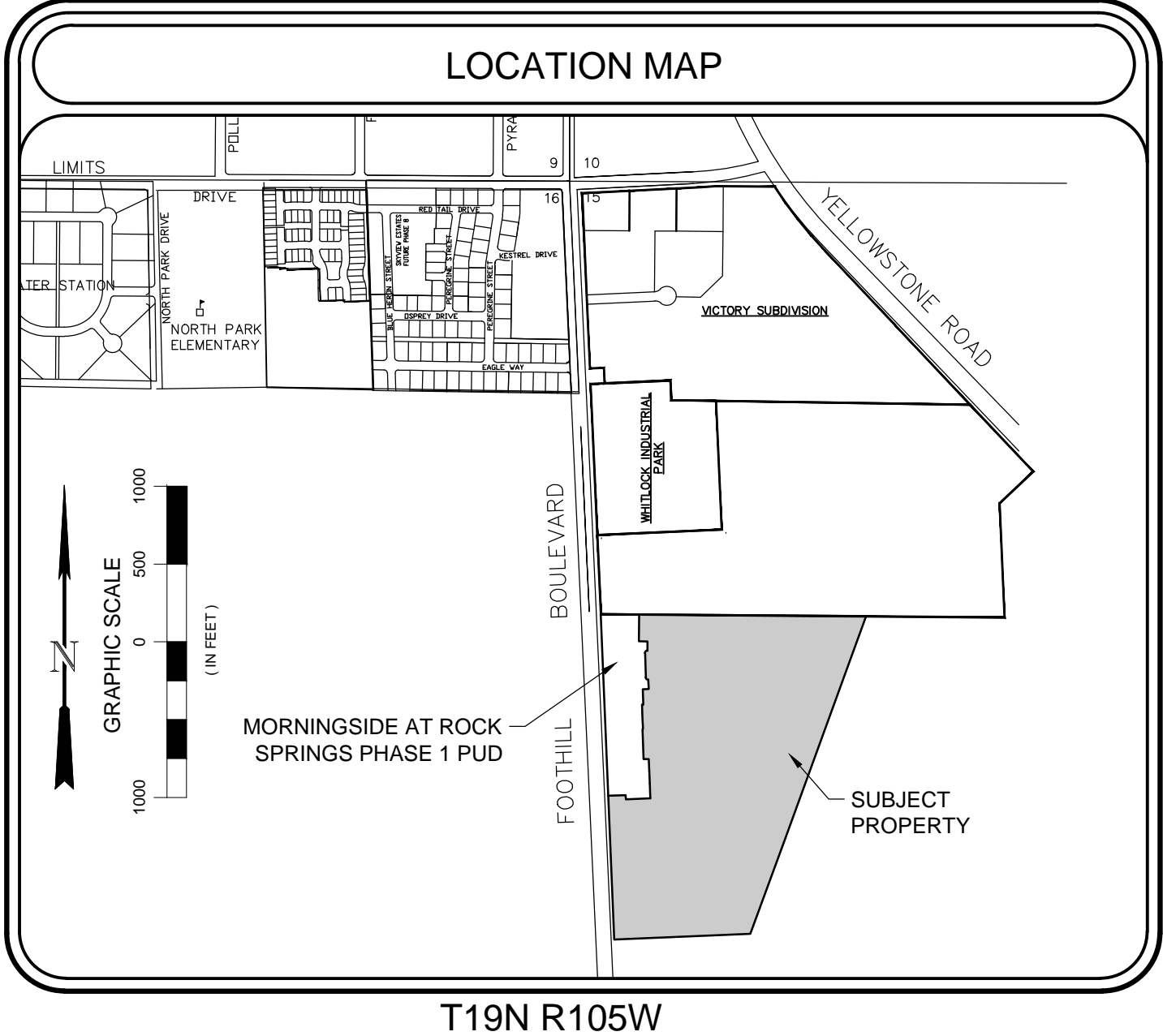
Staff Recommendation

Since this is a Public Hearing item, staff will provide a recommendation following the public comment on this project. At a minimum, all Utility Review conditions will need to be met.



LEGEND

- [ST] [ST] PROPOSED STORM SEWER
- ST ST EXISTING STORM SEWER
- XSTX XSTX STORM SEWER TO BE ABANDONED
- [SA] [SA] PROPOSED SANITARY SEWER
- SA SA EXISTING SANITARY SEWER
- [W] [W] PROPOSED WATERLINE
- [P] [P] PROPOSED POWERLINE
- OHP OHP EXISTING POWER LINE (OVERHEAD)
- P P EXISTING POWER LINE
- W W EXISTING WATER MAIN
- WM WM WATER MAIN TO BE ABANDONED
- PGT PGT EXISTING GAS PIPELINE
- EASEMENT LINE
- 6736 CONTOUR LINE
- DRAINAGE ARROW
- ⊗ EXISTING FIRE HYDRANT
- ⊙ EXISTING POWER POLE
- ⊗ PROPOSED FIRE HYDRANT
- ⊗ EXISTING UTILITY PEDESTAL/BOX
- WV WATER VALVE
- ⊙ SEWER MANHOLE
- ⊙ STORM MANHOLE
- ⊙ EXISTING PROPERTY CORNER 3" x 24" STEEL BAR WITH 1-1/2" ALUMINUM CAP INSCRIBED "CLOEY C. WALL PLS 482"
- ⊙ PROPOSED PROPERTY CORNER 3" x 24" STEEL BAR WITH 1-1/2" ALUMINUM CAP INSCRIBED "CLOEY C. WALL PLS 482"
- ⊙ FOUND 1/4 CORNER 3" GLO BRASS CAP APPROPRIATELY INSCRIBED
- ⊙ FOUND 1/4 CORNER 3-1/4" CORNER ALUMINUM CAP ON ALUMINUM PIPE INSCRIBED PLS 5146
- PHASE LINE



SUBDIVISION INFORMATION					
PHASE #	# OF LOTS	AREA (ac)	LAND IN R.O.W.	ZONING R-3	ZONING R-5
PHASE 1	22	11.224	1.966	10.749	0.475
PHASE 2	1	10.647	0.670	0.355	10.292
PHASE 3	27	5.278	1.696	5.278	
PHASE 4	15	3.289	1.032	3.289	
PHASE 5	15	3.959	0.900	3.959	
PHASE 6	24	5.448	1.535	4.019	1.429
PHASE 7	18	3.296	.907	3.296	
PHASE 8	19	3.933	1.225	3.933	
PHASE 9	26	6.330	1.207	6.330	
TOTAL	167	53.404	11.138	41.208	12.196

R-3 SETBACKS				
USE	FRONT	INTERIOR SIDE	CORNER SIDE	REAR
SINGLE FAMILY	20'	6'/10'	20'	20'
MINIMUM LOT WIDTH IS 50' & MINIMUM LOT DEPTH IS 90' MAX HEIGHT = 28'				
2 FAMILY	20'	10'	20'	20'
MINIMUM LOT WIDTH IS 35' & MINIMUM LOT DEPTH IS 90' MAX HEIGHT = 28'				
R-5 SETBACKS				
APARTMENT	30'	20'	20'	25'
TOWNHOUSE	25'	15'	20'	20'
MAX HEIGHT = 35'				

- Lot 10 can not be split in the future without going through the re-subdivision process. Property owner of Lot 10 shall be responsible for monitoring and prohibiting unpermitted activities and uses on the property at all times.
- All easements are 5 feet unless otherwise noted on this preliminary plat.

DEVELOPER: SWEETWATER DEVELOPMENT GROUP, LC
273 NE CAPITOL ST.
SALT LAKE CITY, UT 84103
801-456-2430

PRELIMINARY PLAT of the
FOOTHILL CROSSING SUBDIVISION
a SUBDIVISION of PART of the
W1/2 SW1/4 of SECTION 15,
T19N, R105W, 6th P.M.
CITY of ROCK SPRINGS
SWEETWATER COUNTY, WYOMING

DATE: 2/16/14 JOB #: 14-82-01 FILE: 14-82-01
DRAWN BY: J.L.H. SURVEYOR: Cloey Wall

SHEET 1 of 2

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	31.42	20.00	89°55'59" N	42°36'14" E	28.28
C2	31.42	20.00	90°00'01" N	47°23'46" W	28.28
C3	12.04	96.08	7°10'52" N	88°04'58" W	12.03
C4	56.66	80.00	40°34'59" N	63°28'43" W	55.48
C5	56.96	80.00	40°47'31" N	22°47'31" W	55.76
C6	31.42	20.00	90°00'01" S	47°23'46" E	28.28
C7	31.42	20.00	89°59'59" N	42°36'14" E	28.28
C8	31.42	20.00	90°00'03" S	42°36'16" W	28.28
C9	20.10	78.01	14°45'55" N	44°48'06" E	20.05
C10	48.32	80.84	34°14'53" N	29°18'29" E	47.60
C11	57.23	80.00	90°09'15" N	67°06'39" E	56.02
C12	31.42	20.00	90°00'00" N	42°36'17" E	28.28
C13	31.42	20.00	90°00'00" S	47°23'43" E	28.28
C14	23.78	530.00	2°34'14" N	88°49'48" E	23.78
C15	37.23	530.00	4°01'28" S	87°52'21" E	37.22
C16	37.23	530.00	4°01'28" S	83°50'53" E	37.22
C17	37.23	530.00	4°01'28" S	79°49'25" E	37.22
C18	37.23	530.00	4°01'28" S	75°47'57" E	37.22
C19	36.53	530.00	3°56'57" S	71°48'44" E	36.52
C20	31.42	20.00	90°00'00" N	65°09'44" E	28.28

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C21	185.04	470.00	22°33'28" S	81°07'00" E	183.85
C22	31.42	20.00	90°00'00" S	24°50'16" E	28.28
C23	41.52	430.21	5°31'45" N	0°22'15" E	41.50
C24	57.55	430.00	7°40'06" N	6°58'16" E	57.51
C25	68.66	370.00	10°37'56" S	2°55'15" W	68.56
C26	26.77	20.00	76°41'30" S	46°34'59" W	24.82
C27	58.99	728.82	4°38'14" S	87°14'51" W	58.97
C28	74.35	728.82	5°50'42" N	87°30'41" W	74.32
C29	74.88	728.82	5°53'12" N	81°38'44" W	74.85
C30	74.18	728.82	5°49'55" N	75°47'10" W	74.15
C31	64.87	728.82	5°06'00" N	70°19'13" W	64.85
C32	30.69	20.00	87°55'58" N	23°48'15" W	27.77
C33	32.05	20.00	91°48'42" N	66°04'05" E	28.73
C34	42.92	788.82	3°07'03" S	69°35'05" E	42.91
C35	65.14	788.82	4°43'53" S	73°30'33" E	65.12
C36	60.25	788.82	4°22'34" S	78°03'47" E	60.24
C37	60.79	788.82	4°24'54" S	82°27'31" E	60.77
C38	59.33	788.82	4°18'34" S	86°49'15" E	59.32
C39	56.67	788.82	4°06'58" S	88°57'59" W	56.66
C40	36.27	20.00	103°53'48" N	41°08'36" W	31.50

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C41	75.22	629.93	6°50'29" N	72°3'04" E	75.17
C42	69.94	630.07	6°21'35" S	0°47'05" W	69.90
C43	31.58	20.00	90°27'57" S	42°50'16" W	28.40
C44	29.94	570.00	3°00'36" N	9°18'01" E	29.94
C45	59.52	530.32	6°25'50" N	4°50'47" E	59.49
C46	41.88	381.86	6°17'01" N	0°21'05" W	41.86
C47	31.98	20.00	91°36'26" N	48°11'56" W	28.68
C48	32.41	970.00	1°54'53" S	85°02'25" W	32.41
C49	22.02	1030.00	1°13'30" S	84°51'39" W	22.02
C50	62.02	1030.00	3°26'59" S	86°46'54" W	62.01
C51	12.78	1080.04	0°40'41" N	87°13'38" E	12.78
C52	46.84	943.76	2°50'37" N	85°27'59" E	46.84
C53	37.17	1030.00	2°04'04" N	85°07'01" E	37.17
C54	30.91	20.00	88°32'45" N	41°52'40" E	27.92
C55	51.04	990.03	2°57'14" S	89°32'51" W	51.03
C56	74.46	990.03	4°18'34" N	86°49'15" W	74.44
C57	76.29	990.03	4°24'54" N	82°27'31" W	76.27
C58	75.62	990.03	4°22'34" N	78°03'47" W	75.60
C59	81.75	990.03	4°43'53" N	73°30'33" W	81.73
C60	48.66	990.03	2°48'59" N	69°44'07" W	48.66

Phase 1 Area Table		
Lot #	Area (Sq. Ft)	Acres
1	7883.04	0.181
2	4000.65	0.092
3	4000.65	0.092
4	4000.65	0.092
5	4000.65	0.092
6	4001.77	0.092
7	4001.77	0.092
10	148114.57	3.400
11	6034.16	0.139
12	5580.00	0.128
13	5583.92	0.128
14	12913.02	0.296
15	14466.62	0.332
16	7272.23	0.167
17	7253.87	0.167
18	7253.88	0.167
19	5829.66	0.134
20	5820.00	0.134
21	6170.66	0.142
22	129099.36	2.964

Phase 2 Area Table		
Lot #	Area (Sq. Ft)	Acres
23	434582.88	9.977

Phase 3 Area Table		
Lot #	Area (Sq. Ft)	Acres
24	4549.16	0.104
25	4120.00	0.095
26	4084.83	0.094
27	4665.58	0.107
28	4032.00	0.093
29	4036.87	0.093
30	4027.13	0.092
31	4714.15	0.108
32	5790.87	0.133
33	5923.82	0.136
34	5702.52	0.131
36	5855.27	0.134
38	5734.45	0.132
39	5732.33	0.132
40	5745.26	0.132
41	7704.40	0.177
42	6521.88	0.150
43	6649.67	0.153
44	6810.04	0.156
45	6392.00	0.147
46	6106.31	0.140
47	5801.79	0.133
48	6882.29	0.158
49	7331.58	0.168
50	7530.16	0.173

Phase 4 Area Table		
Lot #	Area (Sq. Ft)	Acres
51	6919.03	0.159
52	6475.85	0.149
53	6412.14	0.147
54	6331.01	0.145
55	6249.88	0.143
56	6077.28	0.140
57	6093.26	0.140
60	6913.57	0.159
61	6999.41	0.161
62	6999.41	0.161
63	6999.41	0.161
64	6999.41	0.161
65	6951.13	0.160

Phase 5 Area Table		
Lot #	Area (Sq. Ft)	Acres
66	6951.45	0.160
67	6999.45	0.161
68	6999.44	0.161
69	6999.43	0.161
70	6999.42	0.161
71	6913.58	0.159
73	5700.34	0.131
74	10582.65	0.243
75	10830.81	0.249
76	11078.96	0.254
77	11327.11	0.260
78	11575.27	0.266
79	11823.42	0.271
80	12779.78	0.293

Phase 6 Area Table		
Lot #	Area (Sq. Ft)	Acres
81	49160.44	1.129
82	4533.42	0.104
83	4054.52	0.093
84	4116.84	0.095
85	4057.38	0.093
86	4052.52	0.093
87	4043.75	0.093
88	4007.02	0.092
89	4404.67	0.101
90	4464.16	0.102
91	4475.00	0.103
92	4475.00	0.103
93	4475.00	0.103
94	4475.00	0.103
95	4475.00	0.103
96	8080.13	0.185
97	6866.08	0.158
98	6930.03	0.159
99	6783.44	0.156
100	6321.21	0.145
101	6478.61	0.149
102	6415.82	0.147
103	6927.22	0.159
104	6415.84	0.147

Phase 7 Area Table		
Lot #	Area (Sq. Ft)	Acres
105	7138.50	0.164
106	7311.51	0.168
107	7252.80	0.167
108	7850.68	0.180
109	6661.82	0.153
110	4475.00	0.103
111	4475.00	0.103
112	4475.00	0.103
113	4475.00	0.103
114	4475.00	0.103
115	4475.00	0.103
116	6572.59	0.151
117	5693.55	0.131
118	5699.00	0.131
119	5711.76	0.131
120	5731.79	0.132
121	5725.48	0.131
122	5821.05	0.134

Phase 8 Area Table		
Lot #	Area (Sq. Ft)	Acres
123	6006.86	0.138
124	5957.72	0.137
125	6144.19	0.141
126	6302.56	0.145
127	6403.05	0.147
128	6445.89	0.148
129	6834.84	0.157
130	4475.00	0.103
131	4475.00	0.103
132	4475.00	0.103
133	4414.16	0.101
134	9165.75	0.210
135	8178.71	0.188
136	7108.46	0.163
137	6889.58	0.158
138	6400.37	0.147
139	6232.02	0.143
140	6156.29	0.141
141	5876.89	0.135

Phase 9 Area Table		
Lot #	Area (Sq. Ft)	Acres
142	5786.18	0.133
143	5786.18	0.133
144	6007.03	0.138
145	6448.74	0.148
146	6890.45	0.158
147	7333.86	0.168
148	8000.74	0.184
149	8854.69	0.203
150	12468.28	0.286
151	7363.17	0.169
152	6200.00	0.142
153	6200.00	0.142
154	6200.00	0.142
155	6200.00	0.142
156	16774.81	0.385
157	14703.57	0.338
158	7849.81	0.180
159	8349.27	0.192
160	8597.42	0.197
161	8845.58	0.203
162	9093.73	0.209
163	9341.88	0.214
164	9590.04	0.220
165	9838.19	0.226
166	10086.63	0.232
167	10334.21	0.237

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C61	30.89	20.00	88°29'22"	N 24°04'57" W	27.91
C62	31.89	20.00	91°22'09"	N 65°50'49" E	28.62
C63	46.52	1050.03	2°32'18"	S 69°44'15" E	46.51
C64	55.98	1050.03	3°03'16"	S 72°32'02" E	55.97
C65	56.03	1050.03	3°03'27"	S 75°35'24" E	56.03
C66	56.16	1050.03	3°03'52"	S 78°39'03" E	56.15
C67	56.36	1050.03	3°04'31"	S 81°43'15" E	56.35
C68	56.63	1050.03	3°05'24"	S 84°48'12" E	56.62
C69	59.40	1050.03	3°14'28"	S 87°58'08" E	59.39
C70	43.68	1050.03	2°23'01"	N 89°13'08" E	43.68
C71	31.27	20.00	89°34'40"	S 47°11'03" E	28.18
C72	31.42	20.00	90°00'00"	N 47°23'43" W	28.28
C73	23.56	15.00	90°00'00"	S 47°23'43" E	21.21
C74	31.42	20.00	90°00'00"	N 42°36'17" E	28.28
C75	31.42	20.00	90°00'00"	S 42°36'17" W	28.28
C76	33.40	990.00	1°55'59"	S 88°34'16" W	33.40
C77	68.01	990.00	3°56'10"	N 88°29'39" W	68.00
C78	68.01	990.00	3°56'10"	N 84°33'29" W	68.00
C79	68.01	990.00	3°56'10"	N 80°37'18" W	68.00
C80	68.01	990.00	3°56'10"	N 76°14'08" W	68.00



Planning & Zoning Commission Staff Report - UPDATE

Project Name: Memorial Hospital Ambulatory Surgery Center –
Major Site Plan

Project Number: PZ-15-00022

Report Date: April 8, 2015

Meeting Date: April 8, 2015

Applicant

Gerald Klein
Memorial Hospital of SWC
1200 College Drive
Rock Springs, WY 82901

Property Owner

Wally Johnson
Sweetwater County
80 W. Flaming Gorge Way
Green River, WY 82935

Engineer

Shawn Arnoldi
Choice Engineering Services
404 N Street, Suite 201
Rock Springs, WY 82901

Architect

Charles Van Over
Plan One Architects
4020 Dewar Drive, Suite A
Rock Springs, WY 82901

Project Location

1200 College Drive

Zoning

B-2(CD) (Community Business Parallel
Conditional)

Public Notification

Property owner notice (200' radius)
mailed 3/25/15

Ordinance References

§13-808, §13-904

Staff Representative

Jennifer Shields, AICP City Planner

Attachments

- Revised Landscape Plan (reduced)
- Revised Overall Parking Space Plan (reduced)
- Revised Site Plan dated 4/6/15 (full-size)

Update

Revised plans were submitted on April 6, 2015 and are attached with this report. Comments submitted on the revised plans were as follows:

Engineering & Operations (Meghan Jackson):

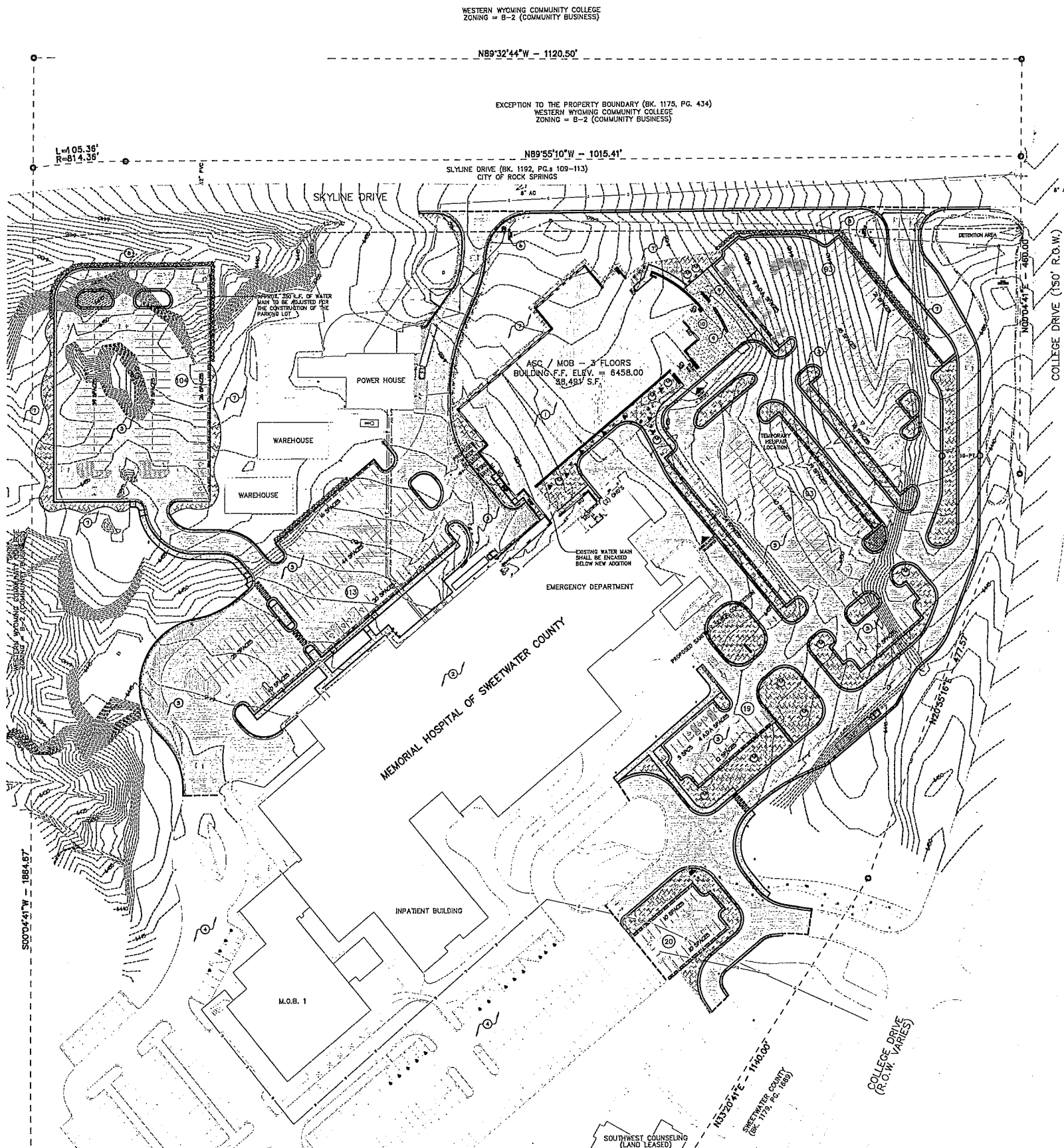
1. Provide drainage calculations for detention area and proposed storm sewer.
2. Does existing storm sewer have the capacity for additional run off from new parking/reconfigured areas?
3. All flared end sections shall have locking trash racks and rip-rapped.
4. Provide construction drawings for Skyline Drive widening.
5. Obtain an NPDES permit if necessary.
6. Design and construction in accordance with City of Rock Springs Ordinances.
7. All previous comments apply.

At this time all outstanding issues have been resolved on the Site Plan drawing, and the only remaining items for the project are supplemental items still required and as listed below.

Staff Recommendation

Staff will provide a recommendation following public comment at the meeting. At a minimum, staff recommends that FINAL Major Site Plan approval is contingent upon the following:

1. All Utility Review conditions shall be met, including outstanding items listed above.
2. Submittal and approval of hydrant flows and their modeling information by the City's Fire Department.
3. Submittal and approval of drainage calculations and storm sewer information by the City's Engineering Department.
4. Submittal of construction drawings for the Skyline Drive widening.
5. Development plans shall conform to site plan specifications. Any substantial changes to the Site Plan, including but not limited to vehicular circulation and parking, shall require review and approval by the Rock Springs Planning and Zoning Commission.
6. Building permits shall be obtained within one (1) year of the date of Major Site Plan approval. Failure to obtain a Building Permit within the one-year timeframe shall require submittal of a new Major Site Plan application for review.
7. All parking lot improvements, including striping, curbs and gutters, shall be installed prior to Occupancy.
8. All landscaping improvements shall be installed prior to Occupancy.



GENERAL LANDSCAPE NOTES

1. INSTALL AN AUTOMATIC SPRINKLER SYSTEM AS REQUIRED TO SERVICE ALL LANDSCAPED AREAS THAT INCLUDE SOD, SHRUBS, AND TREES. THE SPRINKLER SYSTEM INSTALLER SHALL PROVIDE THE DESIGN OF THE SPRINKLER SYSTEM BASED ON THE MANUFACTURER'S REQUIREMENTS FOR THE SYSTEM PROPOSED AND THE BASIC DESIGN CRITERIA CONTAINED HEREIN. THE SYSTEM SHALL BE TIED TO THE DOMESTIC WATER SYSTEM W/ A BACKFLOW PREVENTER. A PROGRAMMABLE TIME CLOCK SHALL BE INSTALLED. VALVES SHALL BE AUTOMATIC PROVIDE DRAIN VALVES. SOD AREAS SHALL HAVE OVERLAPPING COVERAGE AND SHALL COVER SOD AREAS 100%. TREES AND SHRUBS SHALL BE ON A DRIP SYSTEM.
2. CONTRACTOR SHALL STAKE ALL LOCATIONS OF PLANT MATERIAL FOR APPROVAL OF THE ARCHITECT. DO NOT BEGIN PLANTING OPERATIONS UNTIL OBSERVATION IS MADE.
3. ALL PLANTINGS ARE TO RECEIVE A MINIMUM OF 3 INCHES OF MULCH.
4. SUB GRADE ELEVATIONS ARE AS FOLLOWS:
1 1/4" SOIL AMENDMENTS GRAVEL PLANTING AREAS
3" GRAVEL MULCH 6" TOP SOIL
5. SLOPE ALL SIDEWALKS, PILLS, AND PAVED AREAS AWAY FROM BUILDINGS, DO NOT EXCEED CROSS SLOPE OF 2% ON WALKS.
6. ALL CURBS AND SIDEWALKS SHALL CONFORM WITH LOCAL CODES AND ORDINANCES. VERIFY WITH THE CITY OF ROCK SPRINGS FOR STANDARDS.
7. UNLESS OTHERWISE INDICATED MEET EXISTING GRADES AT THE PROPERTY LINE - SEE CIVIL DRAWINGS FOR GRADING.
8. ALL LANDSCAPE BEDS ARE TO HAVE A WEED MAT.
9. 18" TOP SOIL REQUIRED IN PLANTING BEDS, AND 6" OF TOPSOIL IN SOD AREAS.
10. VERIFY LANDSCAPE REGULATIONS WITH CODE.
11. ANY DISTURBED EARTHWORK SHALL BE SEEDED UNLESS SHOWN OTHERWISE.
12. SOME ITEMS HAVE BEEN OMITTED FOR CLARITY - SEE CIVIL FOR ADDITIONAL INFORMATION.
13. SCREEN ON SITE DIRT THAT HAS BEEN APPROVED FOR USE AS TOP SOIL AND SUPPLEMENT WITH ADDITIONAL TOP SOIL AS REQUIRED.

KEYED NOTES

NOTED THUS (X)

- 1 NEW AMBULATORY SURGICAL CENTER
- 2 EXISTING SWEETWATER COUNTY MEMORIAL HOSPITAL BUILDING
- 3 PARKING AREA
- 4 (B) PARKING AREA
- 5 FIRE LANE - NO PARKING
- 6 MONUMENT SIGN - SEE DETAILS
- 7 ANY DISTURBED ARE WILL BE SEEDED WITH NATURAL GRASS SEED MIX
- 8 LANDSCAPING BOULDER RETAINING WALL - SEE CIVIL
- 9 DECORATIVE LANDSCAPE WALL
- 10 OUTDOOR DINING PATIO

LANDSCAPE PLAN LEGEND

	NEW AMBULATORY SURGICAL CENTER		NEW ASPHALT PAVING
	NEW SOD AREAS		DECORATIVE ROCK TO MATCH EXISTING PARKING ISLANDS
	STRIPING TO DESIGNATE NO PARKING		NEW CONCRETE SIDEWALK, CURB, AND GUTTER
	EXTERIOR LIGHT FIXTURE - SEE CIVIL		DECIDUOUS TREE
			SHRUB

PLANTING SCHEDULE

SYMBOL	COMMON NAME	GAL. CONT.	SIZE	PLANT SPACING
AS	GREEN ASH	-	6' TO 8'	AS SHOWN
SH	POTENTILLA, CINQUEFOIL	2 GALLON	-	2'-4'
SM	SILVER MIST, JUNIPERUS CONFERTA	2 GALLON	-	2'-4'
(E)	EXISTING TREE	NA	NA	EXISTING TO REMAIN

AMBULATORY SURGERY CENTER
MEMORIAL HOSPITAL OF SWEETWATER COUNTY
plan one / architects in association with HDR
- Cody, Wyoming, 1001 12th St. 82414 (307) 597-8646 - rock springs, Wyoming, 4020 Dewar Dr., suite 4, 82901 (307) 352-2954 - driggs, Idaho, 169 north main, suite 112, 83422 (208) 354-8036 -



MARK DATE 01-20-15 DESCRIPTION SITE PLAN SUBMITTAL

Project: 1422

The professional seal and signature of the architect are required for all drawings submitted to the City of Sweetwater County. The seal and signature of the architect are required for all drawings submitted to the City of Sweetwater County. The seal and signature of the architect are required for all drawings submitted to the City of Sweetwater County.

PRELIMINARY
Not for construction

Sheet Name

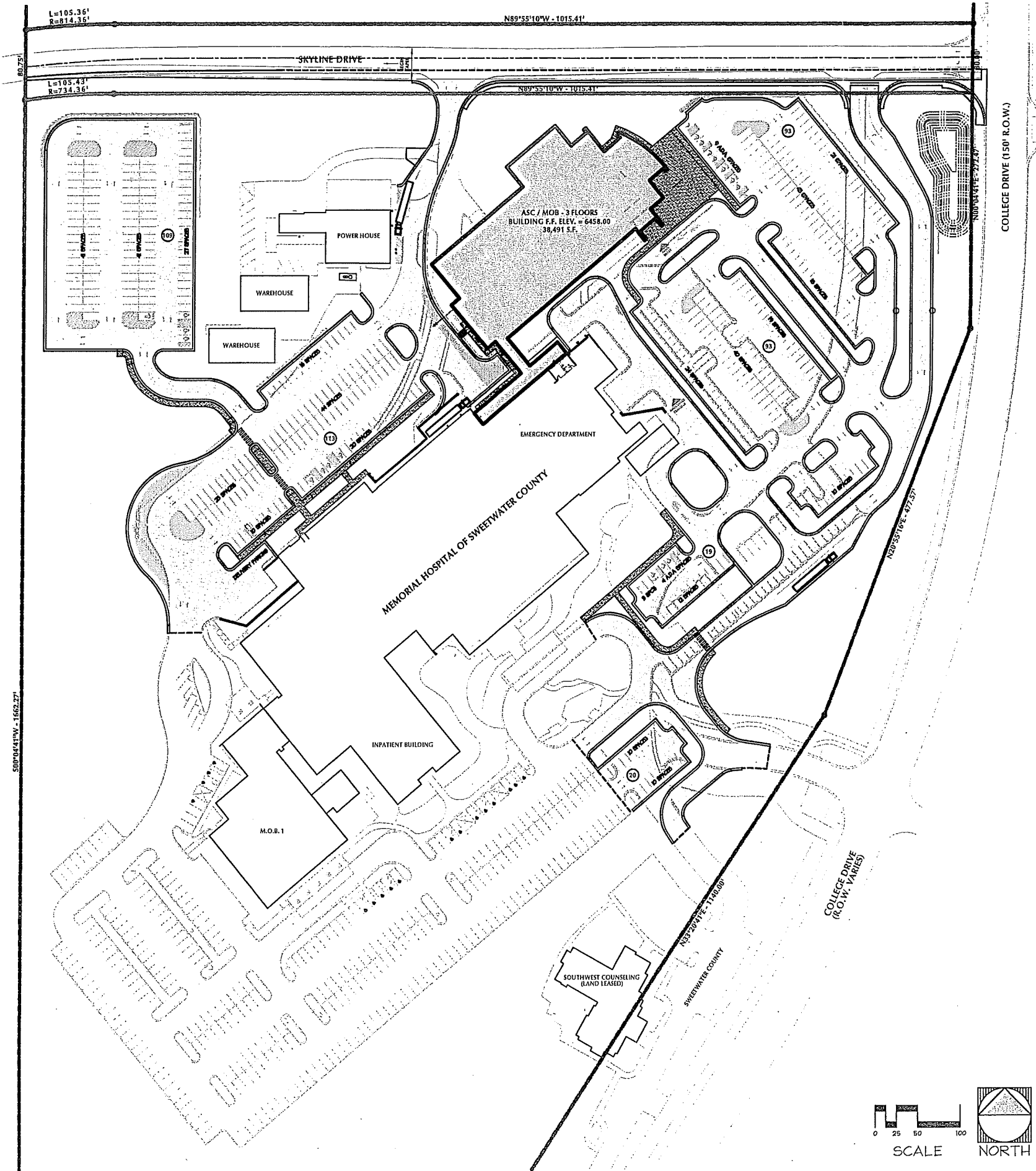
LANDSCAPE
SITE PLAN

Sheet Number

1 OF 1

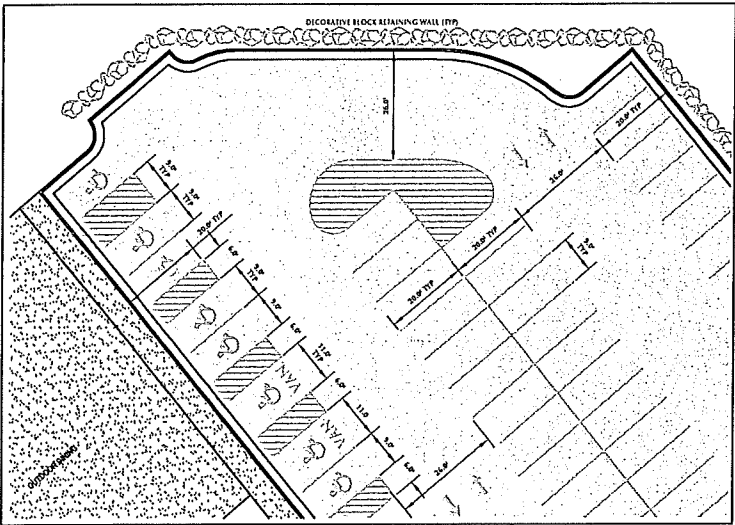
Project Status
MAJOR SITE PLAN SUBMITTAL

MAJOR SITE PLAN
MEMORIAL HOSPITAL OF SWEETWATER COUNTY
OVERALL - PARKING SPACE PLAN



PARKING CALCULATIONS

	EXISTING	PROPOSED
GROSS S.F.	195,477	195,477 + 30,722 (ASC) + 5,000 (PERHOUSE FOR HELICOPTER LOBBY) = 231,425
NET S.F.	176,104	222,425
REQUIRED PARKING AT 1.5 SPACES/1,000 S.F.	264	323
GROSS S.F.	75,166	75,166 + 27,424 (ASC 2ND FLOOR) + 26,811 (ASC 3RD FLOOR) = 129,401
NET S.F.	67,140	118,003
REQUIRED PARKING AT 3.5 SPACES/1,000 S.F.	244	425
TOTAL REQUIRED PARKING HOSPITAL + MEDICAL OFFICES	508	751
EXISTING PARKING	561	561
	(SURPLUS OF 53)	(ADDITIONAL REQUIRED PARKING = 190) (ADDITIONAL PARKING PROVIDED = 193)



PARKING LOT DETAIL

SCALE: NOT TO SCALE

CHOICE ENGINEERING SERVICES

404 N Street - Suite 201 | Rock Springs, WY 82701
Phone 307-362-0065 | Fax 307-362-0064

PREPARED ON 02-13-15



MARK DATE	DESCRIPTION
03-12-15	PARKING PLAN
04-06-15	REVISED PARKING PLAN

Project: 1422
The professional services of the architect are indicated and are not to be construed as a representation of the architect's liability for the design of the project. The architect's liability is limited to the design of the project and does not extend to the construction of the project.

PRELIMINARY
Not for construction

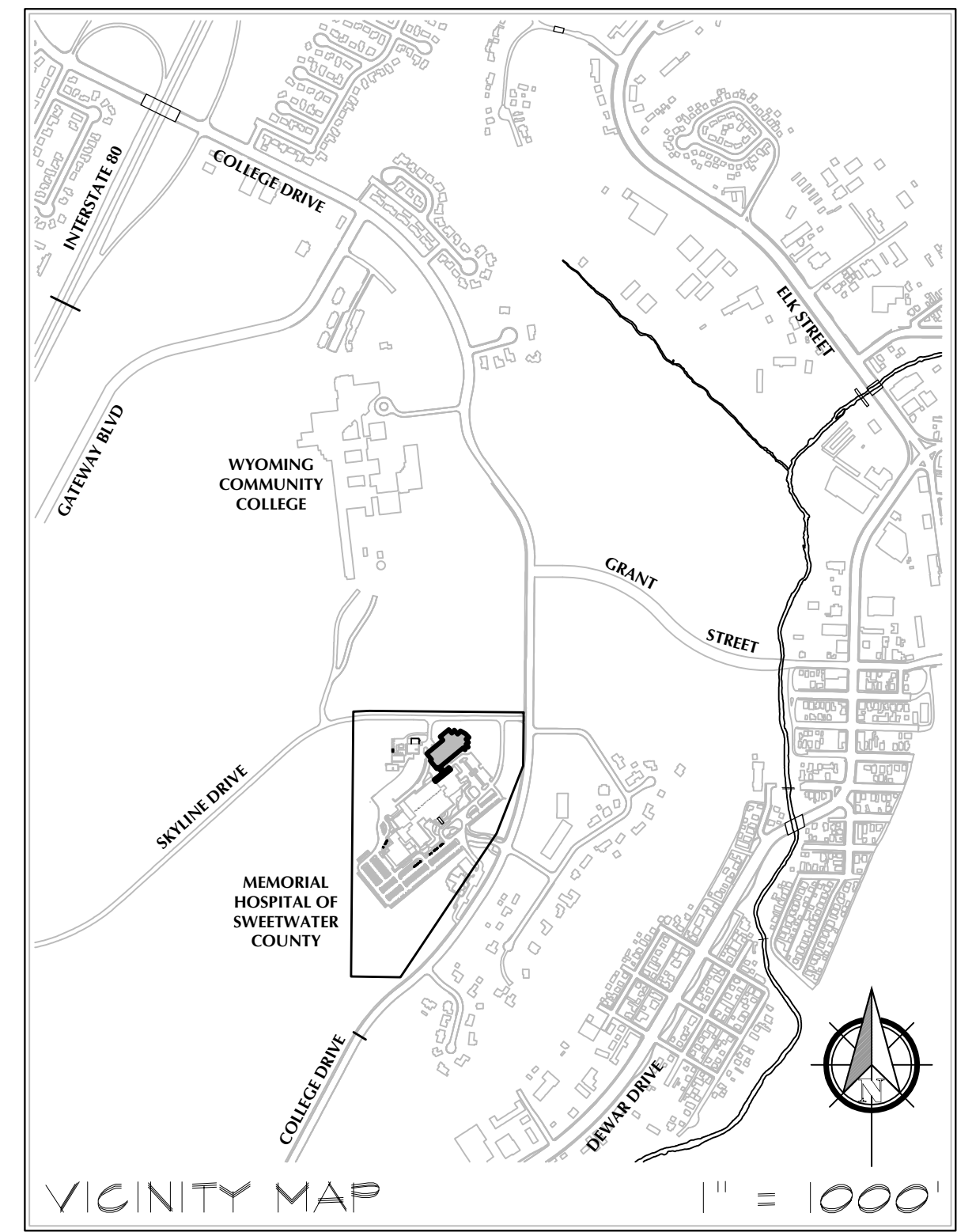
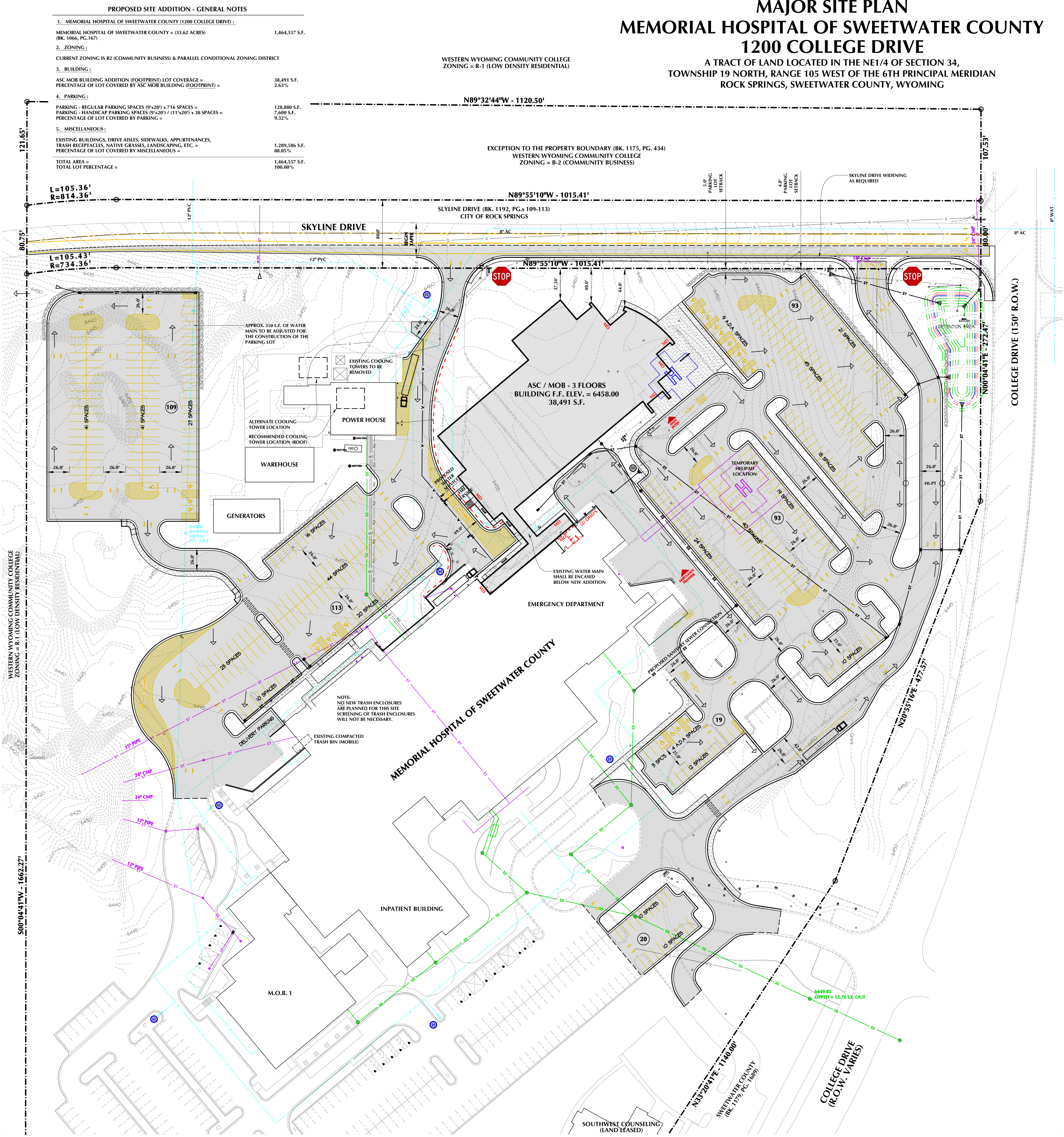
Sheet Name
OVERALL
PARKING
SPACE
PLAN

Sheet Number
1 OF 1

Project Status
MAJOR SITE PLAN SUBMITTAL

AMBULATORY SURGERY CENTER
MEMORIAL HOSPITAL OF SWEETWATER COUNTY
plan one / architects in association with HDR
~ Cody, Wyoming, 1001 12th St. 82414 (307) 587-8646 ~ Rock Springs, Wyoming, 4020 Dewar Dr.
suite a, 82901 (307) 352-2954 ~ Driggs, Idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~

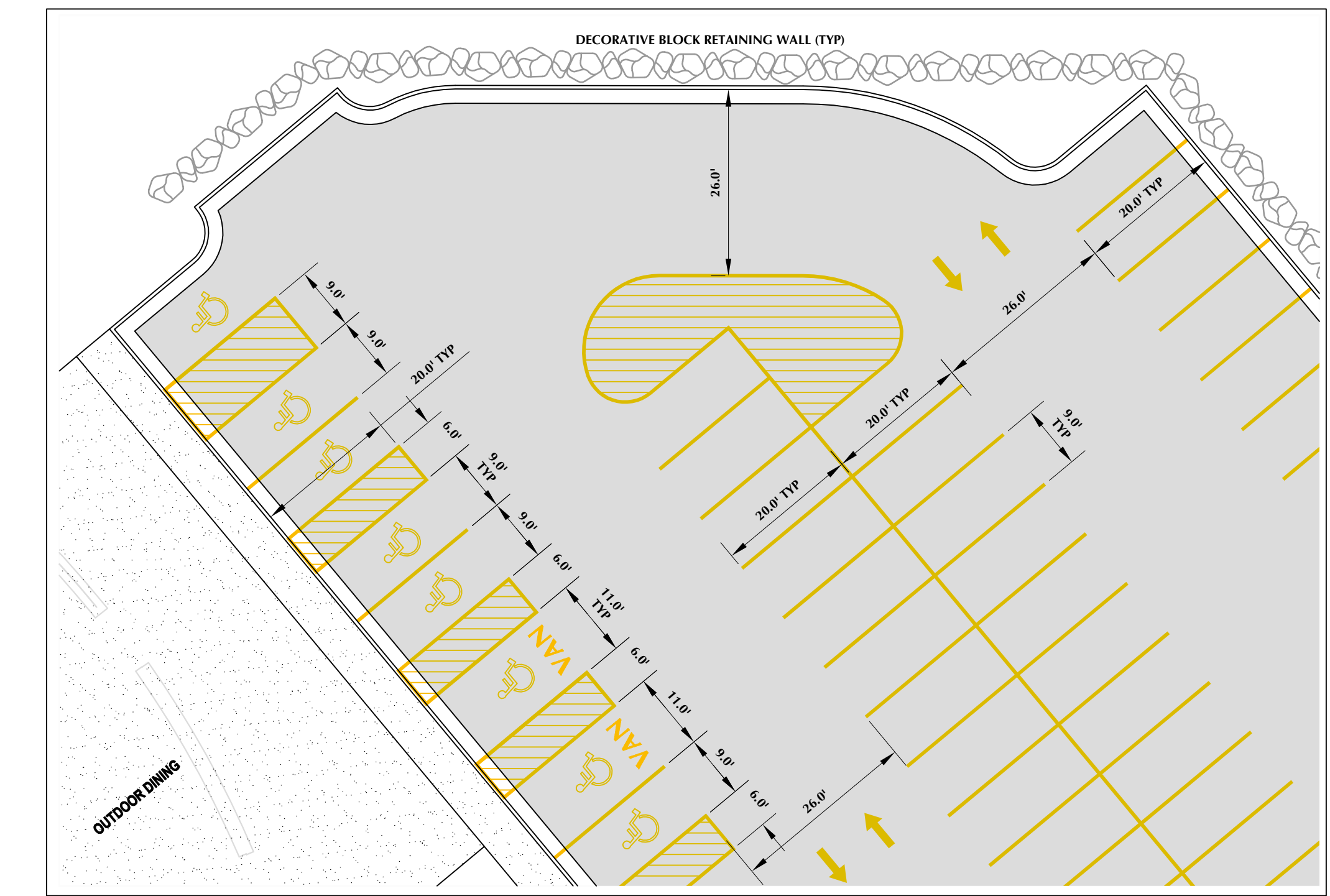
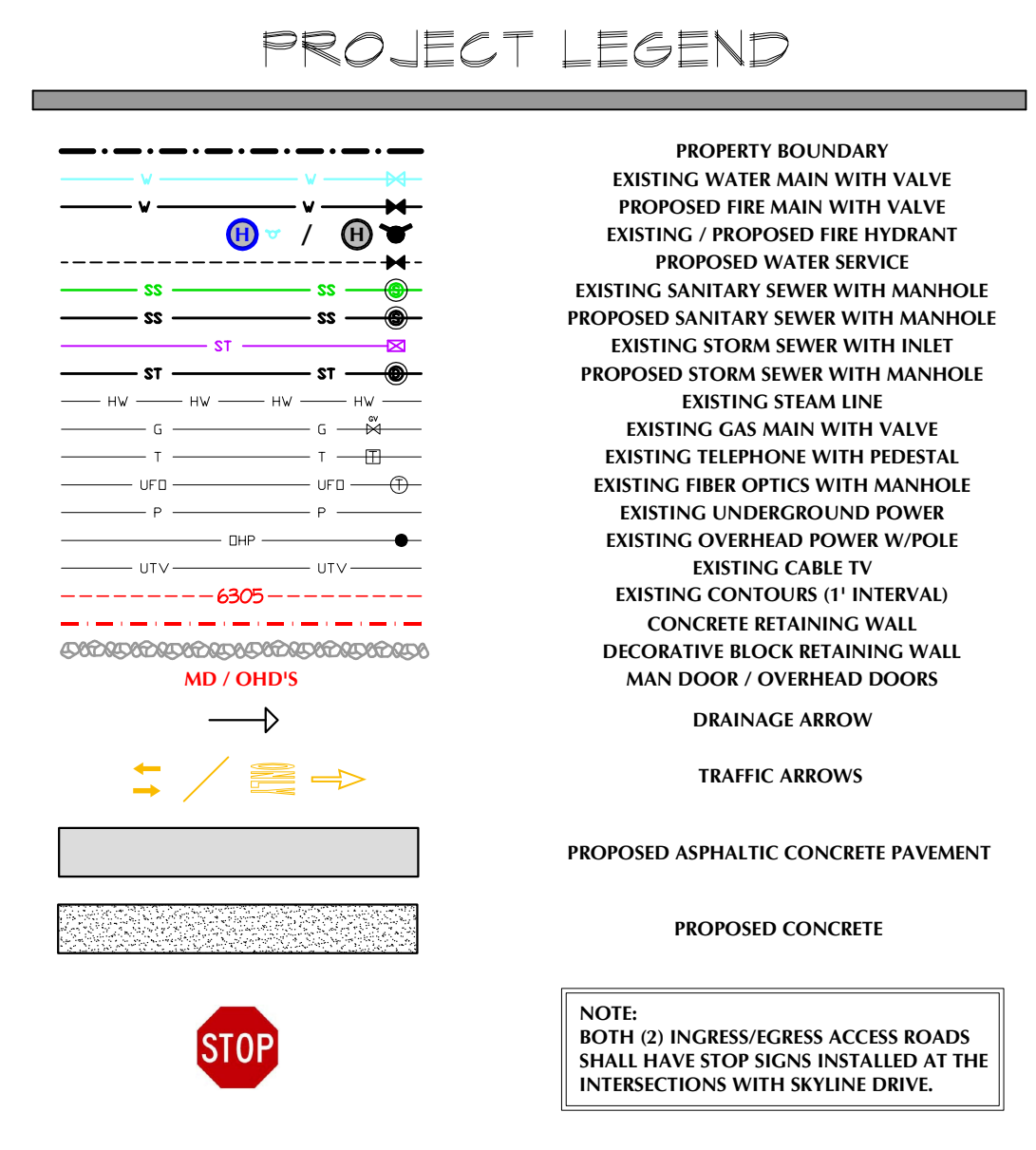
MAJOR SITE PLAN
MEMORIAL HOSPITAL OF SWEETWATER COUNTY
1200 COLLEGE DRIVE
A TRACT OF LAND LOCATED IN THE NE1/4 OF SECTION 34,
TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE 6TH PRINCIPAL MERIDIAN
ROCK SPRINGS, SWEETWATER COUNTY, WYOMING



SITE INFORMATION	
ZONE	B-2 + PARALLEL C.Z.D.
SITE AREA	~1,464,557 SF ~33.62 ACRES
SETBACK REQUIREMENTS	
FRONT	*35'-0"
SIDE	*25'-0" & *15'-0"
REAR	*15'-0"
* ADD 2'-0" TO SETBACKS PER RULE OF 1' ADDITIONAL PER EVERY 3' THAT BLDG IS OVER 35' MAX HT. * PROPOSED BLDG HT. = 70'-8"	
PARKING = SEE CALCULATIONS BELOW	
EXISTING PARKING SPACES ON SITE = 541 PARKING SPACES	
EXISTING PARKING SPACES REMOVED FOR CONSTRUCTION OF NEW ASC MOB = 254 PARKING SPACES	
= 307 PARKING SPACES REMAINING PRIOR TO IMPROVEMENTS	
PROPOSED PARKING SPACES ADDED AS PART OF ASC MOB EXPANSION = 447 PARKING SPACES	
TOTAL NUMBER OF SPACES PROVIDED = 307 EXISTING + 447 PROPOSED = (754)	
STD STALL SIZE = 9' X 20' SEE PARKING DETAIL BELOW	

PARKING CALCULATIONS			
	EXISTING		PROPOSED
GROSS S.F.	HOSPITAL		HOSPITAL
	106,677	106,677 + 38,722(ASC) + 5,000(PENTHOUSE FOR HELICOPTOR LOBBY) = 250,425	
	-110,568		-23,542.5
NET S.F.	= 176,109		= 216,882.5
REQUIRED PARKING AT 1.5 SPACES/1,000 S.F.	264		323
GROSS S.F.	MEDICAL OFFICES		MEDICAL OFFICES
	75,155	75,155 + 27,429(ASC 2ND FLOOR) + 24,518(ASC 3RD FLOOR) = 130,097	
	-101		-13,209.7
NET S.F.	= 7,916		= 116,887.3
	= 67,640		
REQUIRED PARKING AT 3.6 SPACES/1,000 S.F.	244		428
TOTAL REQUIRED PARKING HOSPITAL + MEDICAL OFFICES	508		751
EXISTING PARKING	541		561
	(SURPLUS OF 53)	(ADDITIONAL PARKING PROVIDED = 193)	

- GENERAL NOTES
- EASEMENTS: A. THERE ARE NOT ANY EXISTING EASEMENTS WHICH AFFECT THIS PROPERTY.
B. MAINTENANCE AND UPKEEP OF THE NEW DRAINAGE SYSTEM WILL BE THE RESPONSIBILITY OF THE OWNER. FENCES, WALLS OR FOOTINGS THAT WOULD IMPER DRAINAGE FLOWS WITHIN THIS DRAINAGE SYSTEM AND REGRADING OF THE DRAINAGE SYSTEM SHALL NOT BE PERMITTED.
C. ALL STORM SEWER AND DETENTION AREAS ARE PRIVATE AND WILL BE MAINTAINED BY THE OWNER.
D. INFORMATIONAL SIGNS WILL BE POSTED ON THE BUILDING AND DIRECTIONAL SIGNS WILL BE INSTALLED WITHIN THE SITE.
E. ENTRANCE SIGNS (2) WILL BE ADDED OR REPLACED IN THIS DEVELOPMENT (SKYLINE DRIVE ENTRANCES).
- SIGNAGE: A. LIGHTING WILL BE DESIGNED BY OTHERS AND WILL BE INCLUDED IN THE REVIEW CONSTRUCTION DRAWINGS.
B. "DEVELOPMENT SHALL MEET THE GLARE AND LIGHTING REQUIREMENTS OF ORD. 13.015.0 OF THE CITY'S ZONING ORDINANCE. LIGHTING SHALL NOT AFFECT ADJACENT PROPERTIES."
- LANDSCAPING: *ALL LANDSCAPING AREAS SHALL BE LANDSCAPED WITH CITY APPROVED LANDSCAPING MATERIALS PRIOR TO OCCUPANCY.
- DRAINAGE PLAN: DRAINAGE ARROWS SHOWN FOR GENERAL RUN-OFF FLOW DIRECTION.
- MINE SUBSIDENCE: THIS SITE IS LOCATED WITHIN THE MINE SUBSIDENCE AREA - RISK = LOW
- FLOODPLAIN: THIS SITE IS NOT LOCATED IN A FLOODPLAIN OR FLOODWAY ZONE AS INDICATED BY FIRM PANEL #560051 0005 L - REV. JULY 20, 1998.
- PARKING LOT GRADES: MAXIMUM GRADE FOR PARKING AREAS IS THREE PERCENT (3.0%).
- PARKING LOTS: ALL PARKING LOTS AND DRIVEWAYS SHALL BE PAVED WITH ASPHALT OR CONCRETE AND SHALL HAVE CONCRETE CURB & GUTTER.
- FIRE: THIS BUILDING WILL BE SERVED BY A FIRE SPRINKLER SYSTEM.



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MARK DATE DESCRIPTION
01-20-15 SITE PLAN SUBMITTAL
03-12-15 SITE PLAN REVISED
04-06-15 SITE PLAN REVISED

Project: 1422

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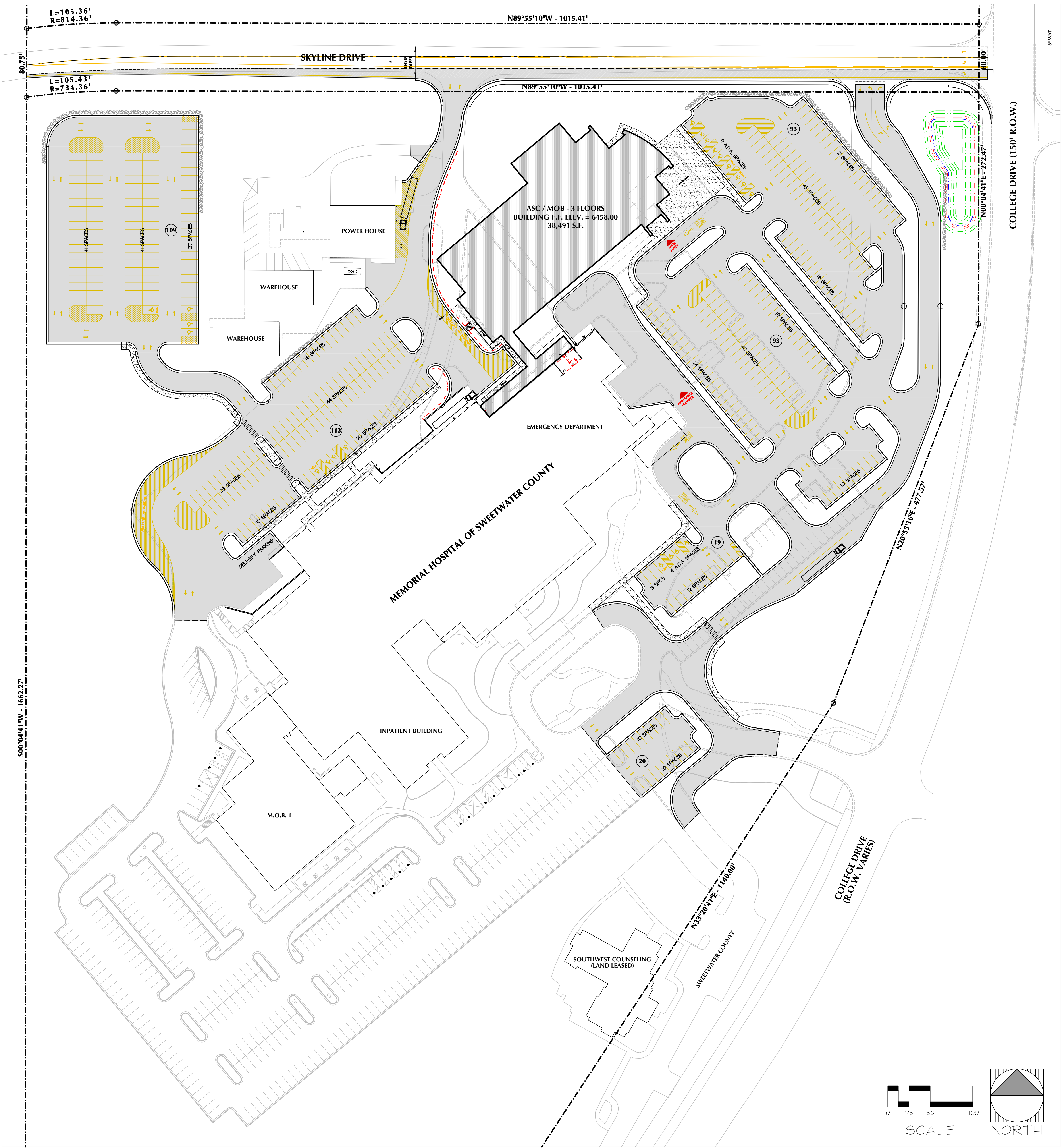
PRELIMINARY
Not for construction

Sheet Name
MAJOR SITE PLAN

Sheet Number
1 OF 1

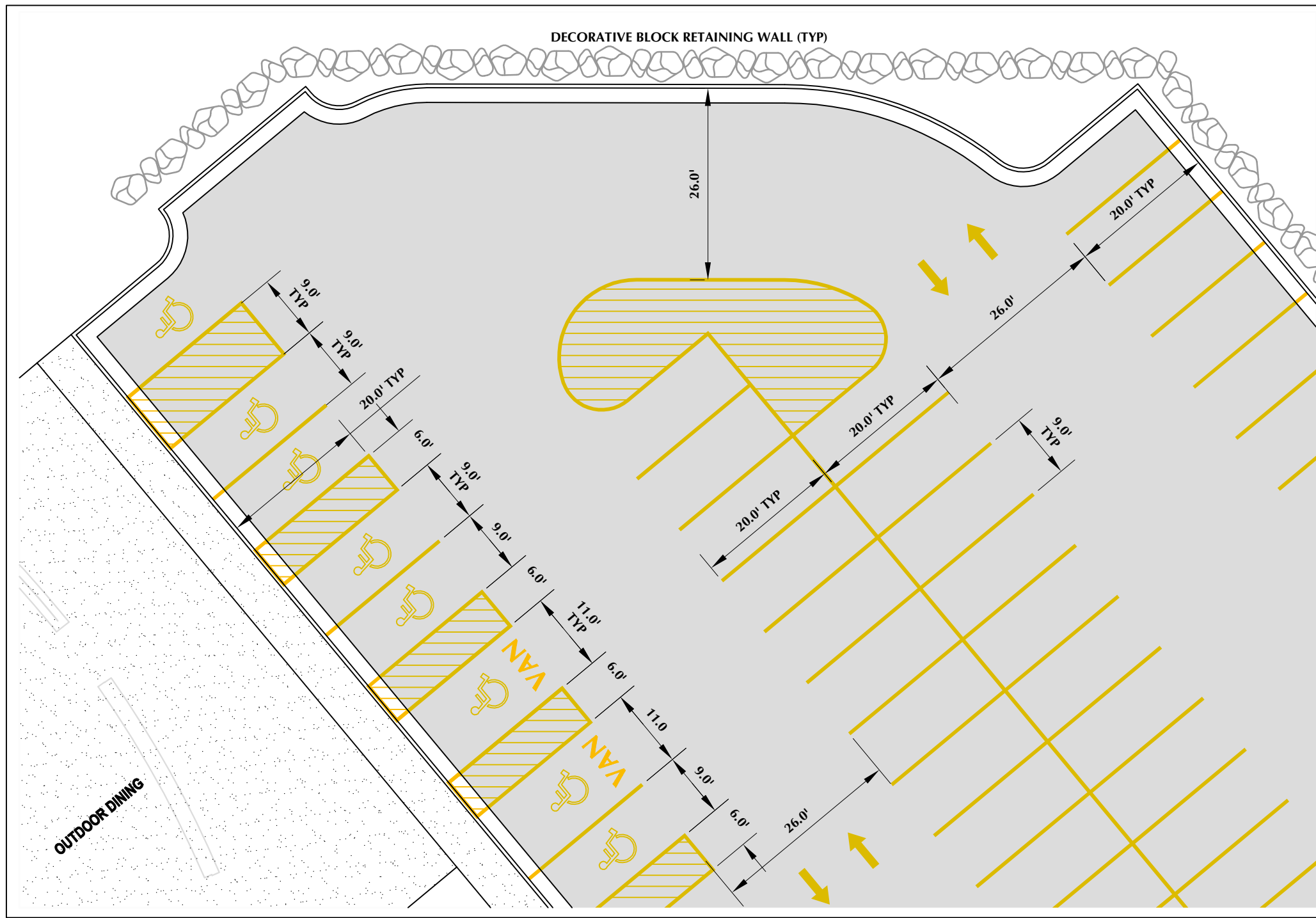
Project Status
MAJOR SITE PLAN SUBMITTAL

MAJOR SITE PLAN
MEMORIAL HOSPITAL OF SWEETWATER COUNTY
OVERALL - PARKING SPACE PLAN



PARKING CALCULATIONS

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	= 176,109	= 216,862.5
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NET S.F.	-7,516	-19,209.7
	= 67,640	= 112,887.3
REQUIRED PARKING AT 3.4 SPACES/1,000 S.F.	244	426
TOTAL REQUIRED PARKING HOSPITAL + MEDICAL OFFICES	508	751
EXISTING PARKING	561	561
	(SURPLUS OF 53)	(ADDITIONAL REQUIRED PARKING = 190) (ADDITIONAL PARKING PROVIDED = 193)



PARKING LOT DETAIL

CHOICE ENGINEERING SERVICES

404 "N" Street - Suite 201 | Rock Springs, WY 82901
Phone 307-362-6065 | Fax 307-362-6064

PREPARED ON 02-13-15

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03-12-15	PARKING PLAN
04-06-15	REVISED PARKING PLAN

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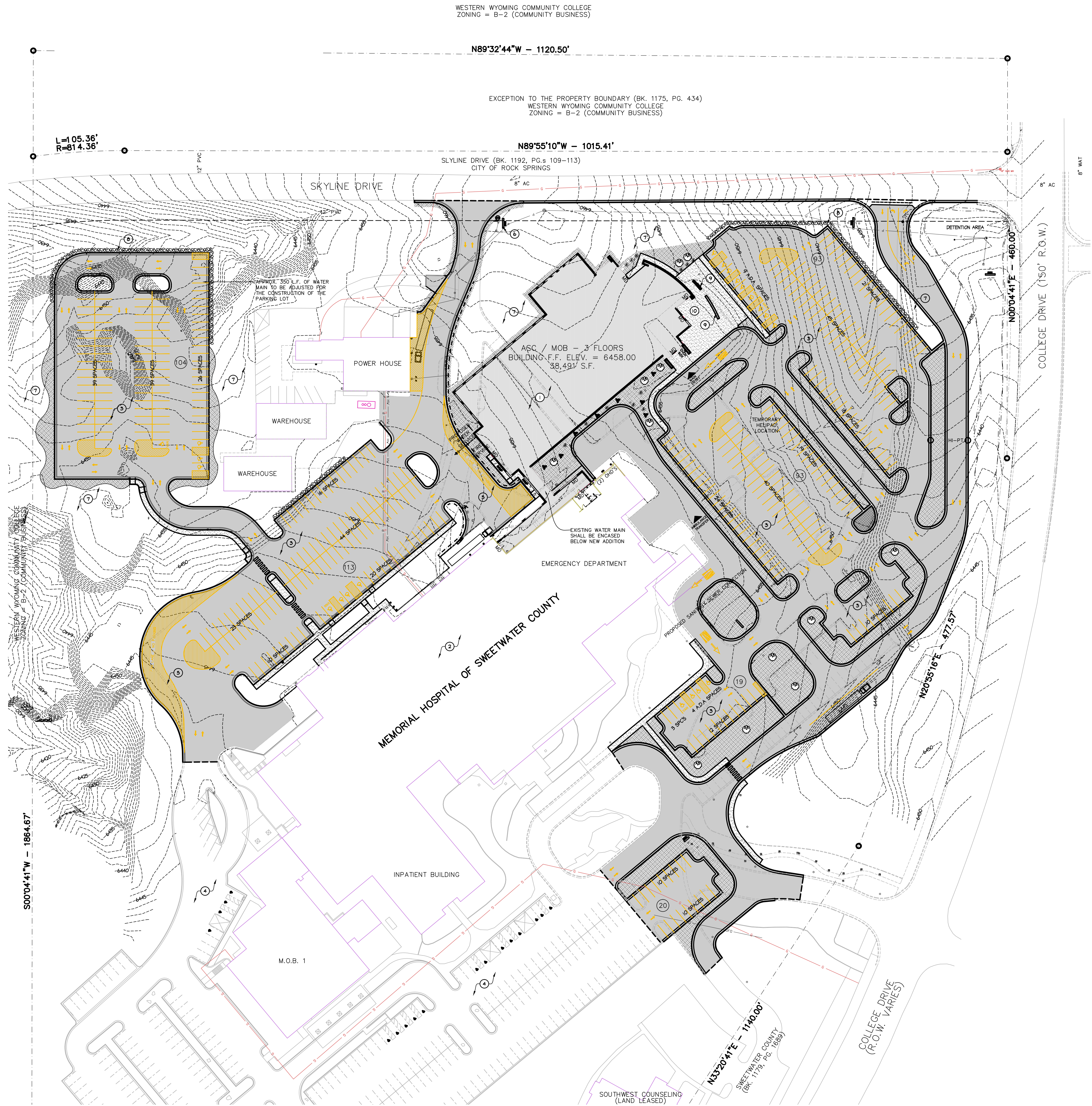
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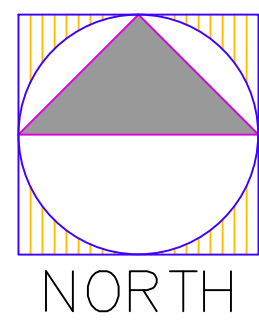
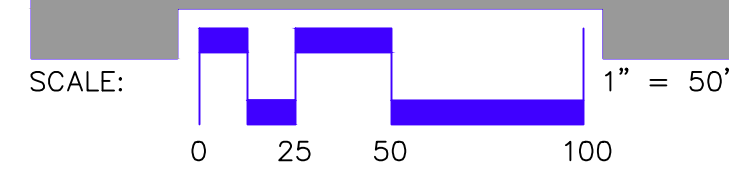
Sheet Name
**OVERALL
PARKING
SPACE
PLAN**

Sheet Number
1 OF 1

Project Status
MAJOR SITE PLAN SUBMITTAL



LANDSCAPE PLAN



GENERAL LANDSCAPE NOTES

1. INSTALL AN AUTOMATIC SPRINKLER SYSTEM AS REQUIRED TO SERVICE ALL LANDSCAPED AREAS THAT INCLUDE SOD, SHRUBS, AND TREES. THE SPRINKLER SYSTEM INSTALLER SHALL PROVIDE THE DESIGN OF THE SPRINKLER SYSTEM BASED ON THE MANUFACTURER'S REQUIREMENTS FOR THE SYSTEM PROPOSED AND THE BASIC DESIGN CRITERIA CONTAINED HERE IN. THE SYSTEM SHALL BE TIED TO THE DOMESTIC WATER SYSTEM W/ A BACKFLOW PREVENTER. A PROGRAMMABLE TIME CLOCK SHALL BE INSTALLED. VALVES SHALL BE AUTOMATIC PROVIDE DRAIN VALVES. SOD AREAS SHALL HAVE OVERLAPPING COVERAGE AND SHALL COVER SOD AREAS 100%. TREES AND SHRUBS SHALL BE ON A DRIP SYSTEM.
2. CONTRACTOR SHALL STAKE ALL LOCATIONS OF PLANT MATERIAL FOR APPROVAL OF THE ARCHITECT. DO NOT BEGIN PLANTING OPERATIONS UNTIL OBSERVATION IS MADE.
3. ALL PLANTINGS ARE TO RECEIVE A MINIMUM OF 3 INCHES OF MULCH.
4. SUB GRADE ELEVATIONS ARE AS FOLLOWS:
 - 1. 1/4" SOIL AMENDMENTS GRAVEL PLANTING AREAS
 - 3" GRAVEL MULCH 6" TOP SOIL
5. SLOPE ALL SIDEWALKS, FILLS, AND PAVED AREAS AWAY FROM BUILDING, DO NOT EXCEED CROSS SLOPE OF 2% ON WALKS.
6. ALL CURBS AND SIDEWALKS SHALL CONFORM WITH LOCAL CODES AND ORDINANCES. VERIFY WITH THE CITY OF ROCK SPRINGS FOR STANDARDS.
7. UNLESS OTHERWISE INDICATED MEET EXISTING GRADES AT THE PROPERTY LINE - SEE CIVIL DRAWINGS FOR GRADING.
8. ALL LANDSCAPE BEDS ARE TO HAVE A WEED MAT.
9. 18" TOP SOIL REQUIRED IN PLANTING BEDS, AND 6" OF TOPSOIL IN SOD AREAS.
10. VERIFY LANDSCAPE REGULATIONS WITH CODE.
11. ANY DISTURBED EARTHWORK SHALL BE SEEDED UNLESS SHOWN OTHERWISE.
12. SOME ITEMS HAVE BEEN OMITTED FOR CLARITY - SEE CIVIL FOR ADDITIONAL INFORMATION.
13. SCREEN ON SITE DIRT THAT HAS BEEN APPROVED FOR USE AS TOP SOIL AND SUPPLEMENT WITH ADDITIONAL TOP SOIL AS REQUIRED.

KEYED NOTES

NOTED THIS (X)

- 1 NEW AMBULATORY SURGICAL CENTER
- 2 EXISTING SWEETWATER COUNTY MEMORIAL HOSPITAL BUILDING
- 3 PARKING AREA
- 4 (E) PARKING AREA
- 5 FIRE LANE - NO PARKING
- 6 MONUMENT SIGN - SEE DETAILS X/ASI.3
- 7 ANY DISTURBED ARE WILL BE SEEDED WITH NATURAL GRASS SEED MIX
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LANDSCAPE PLAN LEGEND

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MARK DATE 01-20-15 DESCRIPTION SITE PLAN SUBMITTAL

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PRELIMINARY
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Sheet Name

LANDSCAPE
SITE PLAN

Sheet Number

1 OF 1

Project Status

MAJOR SITE PLAN SUBMITTAL