



PLANNING AND ZONING COMMISSION MEETING AGENDA

June 8, 2022

7:00 p.m.

ROLL CALL

APPROVAL OF MINUTES

1. Review and approval of the May 11, 2022 Planning & Zoning Commission Meeting Minutes. [Report Packet Page 2](#)

ACCEPTANCE OF STAFF REPORTS AND CORRESPONDENCE

1. Review and acceptance of all staff reports and correspondence into the record.

PUBLIC HEARINGS

1. None

UNFINISHED BUSINESS

1. None

NEW BUSINESS

1. Request for a Conditional Use Permit for accessory structure exceeding 1,200 square feet for Harmon, submitted by Double G Construction. (Project #: PZ-22-00180, Staff Representative: Cathy Greene, City Planner) [Report Packet Page 6](#)
2. Request for an informal review of a **Planned Unit Development Concept Plan** for Aspen Mountain Medical Center, submitted by Curtis Mayse (Steamboat Orthopedics) and represented by Shawn Arnoldi, PE (WHS Engineering, Surveying, Planning). (Project #: PZ-22-00212, Staff Representative: Cathy Greene, City Planner) [Report Packet Page 26](#)

NOTIFICATION OF MINOR SITE PLANS AND STAFF APPROVED CONDITIONAL USE PERMITS

1. Approval of a Minor Site Plan for an accessory structure to be located at 4016 Springs Drive, submitted by Wire Brothers. (Project #: PZ-22-00193)
2. Approval of a sign at 915 Walnut Street, submitted by Jessica Lang of Springview Manor Apartments. (Project #: PZ-22-00196)
3. Approval of a residential site plan for a balcony for Pat McFadden, Jr. at 1323 Yalecrest, represented by Randy Hansen with JFC Engineers & Surveyors. (Project #: PZ-22-00183)
4. Approval of residential site plan for a pergola for Luis Perez at 2601 Artesian Circle. (Project #: PZ-22-00214)
5. Approval of a sign at First Western Trust Bank (fka RMB) at 2215 Foothill Blvd, represented by Saul DeMoss, National Direct Signs, with Rocky Mountain Signs. (Project #: PZ-22-00201)

PETITIONS AND COMMUNICATIONS

1. Written petitions and communications.
 - a. Update on City Council actions [Report Packet Page 64](#)
2. Petitions and communications from the floor.

ADJOURNMENT

**PLANNING AND ZONING
COMMISSION MINUTES**
May 11, 2022
Wednesday, 7:00 p.m.
City Hall, Rock Springs, Wyoming

Commissioners Present:	Chairman Justin Lemon Dan Kennedy Zane Isaacson	Blake Manus Kevin Hardesty Emily Lopez Ken Fortuna
Commissioners Absent:	Vice Chairman Cody Wylie	
Staff Present:	Cathy Greene, City Planner	

CALL TO ORDER

Chairman Lemon called the meeting to order at 7:00 p.m.

ROLL CALL

After roll call it was determined that a quorum was present to proceed.

APPROVAL OF MINUTES

Chairman Lemon asked the Commission for any corrections or additions to the Minutes from the April 13, 2022, Planning and Zoning Commission Meeting.

With no corrections or additions, Chairman Lemon asked for a motion to accept the Minutes as presented.

Commissioner Lopez: Motion to approve the Minutes as presented.

Commissioner Kennedy: Second.

Vote: All in favor. Motion carried unanimously.

ACCEPTANCE OF STAFF REPORTS AND CORRESPONDENCE

Chairman Lemon asked for a motion to accept all correspondence and Staff Reports into the record.

Commissioner Hardesty: Motion to accept all correspondence and Staff Reports into the record.

Commissioner Isaacson: Second.

Vote: All in favor. Motion carried unanimously.

CHANGES TO THE AGENDA

There were none.

UNFINISHED BUSINESS

There were none.

PUBLIC HEARINGS

There were none.

NEW BUSINESS

1) Request for a Conditional Use Permit by Albert R. Battisti, Jr. for an oversized detached garage. Project number PZ-22-00165, Staff Representative: Cathy Greene, City Planner

Staff Report

Ms. Greene presented the Staff Report to the Commission.
Notifications were mailed on May 2, 2022.

Commissioner Questions for Staff

None.

Commissioner Questions for Applicant

Chairman Lemon asked the applicant or a representative for the project to come forward.

Mr. Battisti came forward and Chairman Lemon asked him to tell them about it and why he wants it; Mr. Battisti said using it as his shop, for his side by side and a vehicle he currently has in storage. Chairman Lemon asked if it is only for personal use, Mr. Battisti said yes.

Commissioner Fortuna asked if he was going to pave; Mr. Battisti said yes from the existing concrete to the garage.

Chairman Lemon asked about the retaining walls that were referenced in the letter from the neighbor; Mr. Battisti said the wall is on his property and is four feet high.

Chairman Lemon asked if drainage will be contained on his property, Mr. Battisti said yes.

Commissioner Kennedy asked if it was a rock retaining wall; Mr. Battisti said no it's cement. Commissioner Kennedy said his concern was that area draining properly; Mr. Battisti said he will have gutters draining to the lawn.

Public Comments

Chairman Lemon asked for anyone who would like to comment on the project to come forward.

Keisha Martinez on behalf of her mother Tammy Bond at 918 Ruger, stated her mother's biggest concern is that he will be exceeding the allowed limit and she feels it will block her view and be an eye sore of sorts. Keisha had photos that her mother printed out.

Commissioner Lopez made a motion to admit the photos into the record.

Commissioner Isaacson, second.

All in favor.

Commissioner Kennedy asked if she had concern with the height, where the wall and fence and his building location was twelve feet (12') down from their property, which lead into discussion about the height. Ms. Greene interjected and explained the height calculation.

Commissioner Fortuna and Commissioner Lopez asked about the consistency of approval on these; there was an open discussion about the number of them, location, and size. Chairman Lemon stated this is something we have discussed increasing the size of as they are getting larger and more common; Ms. Greene agreed.

Chairman Lemon then asked for a staff recommendation.

Staff Recommendation

Ms. Greene recommended approval with the following conditions:

1. Construction shall conform to the approved site plan and application, including required setbacks from property lines.
2. Drainage shall not impact adjacent properties and appropriate erosion control measures shall be utilized, both during construction and when construction is complete.
3. The use of the garage shall be limited to typical residential uses (i.e. storage of personal vehicles). Any Home Occupations within the garage shall comply with the City's Home Occupations Requirements.
4. Planning approval does not constitute building permit approval. Contact the City of Rock Springs Building Department to obtain a building permit for the garage.

Commission Vote

Commissioner Kennedy: Motion to approve with staff recommendations.

Commissioner Fortuna: Second.

Vote: All in favor. Motion carried unanimously.

**NOTIFICATION OF MINOR SITE PLANS /
STAFF APPROVED CONDITIONAL USE PERMITS**

- 1.Approval of a Sign permit to be located at 2421 Foothill Blvd, submitted by YESCO representing the White Mountain Mall. (Project #: PZ-22-00153, Staff Representative: Cathy Greene, City Planner)
- 2.Approval of a Minor Site Plan at 3320 Yellowstone Road, submitted by Kandi Pendleton, Sweetwater County Events Complex represented by Plan One Architects. (Project #: PZ-22-00152, Staff Representative: Cathy Greene, City Planner)
- 3.Approval of a Floodplain Project for an emergency repair of a nonconforming front porch at 810 Pilot Butte, submitted by Wade Bloedow, Contractor. (Project #: PZ-22-00166, Staff Representative: Cathy Greene, City Planner)

PETITIONS AND COMMUNICATIONS

1) Written petitions and communications.

- a. Update on City Council Actions - none**

2) Petitions and communications from the floor. – April approved business licenses.

ADJOURNMENT

With no further business, the meeting was adjourned at 7:24 p.m.

These minutes approved by the Rock Springs Planning and Zoning Commission by vote this

_____ day of _____ 2022.

Cathy Greene, Secretary, Planning & Zoning Commission



PLANNING & ZONING COMMISSION STAFF REPORT

Prepared: May 26, 2022

Meeting: June 8, 2022 at 7:00 p.m.

Agenda Item:	New Business #1	Project Number:	PZ-22-00180
Project Name:	Harmon - Oversized Detached Accessory Structure		
Project Address:	2861 Morgan Circle		
Property Legal Description:	Sweetwater Station, Phase 1, Lot 11		
Project Description:	Consideration of a Planning and Zoning Commission Conditional Use Permit to allow for the construction of a detached accessory structure exceeding 1,200 square feet.		
Applicant:	Gary Gard Double G Construction 4 Birdie Lane Rock Springs, WY 82901	Property Owner:	Steve & Lindsay Harmon 2861 Morgan Circle Rock Springs, WY 82901
Engineer:	N/A	Surveyor:	Dave Johnson UESI 2634 Commercial Way Rock Springs, WY 82901
Public Notification:	Adjacent Property Letters Mailed 5/26/2022; Public Hearing Notice – Not Required for Conditional Use Permits		
Current Master Plan Land Use Designation:	LDR (Low Density Residential)	Proposed Master Plan Land Use Designation:	N/A
Current Zoning District	R-E (Rural Estates)	Proposed Zoning District	N/A
References:	<ul style="list-style-type: none"> • Rock Springs Zoning Ordinance §13-801 Residential Zoning Districts • Rock Springs Zoning Ordinance §13-815.E. Accessory Buildings, Uses and Equipment • Rock Springs Zoning Ordinance §13-905 Procedure for Conditional Use Permit Approval 		
Exhibits:	<ul style="list-style-type: none"> A. Application B. Site Plan and Building Drawings C. Adjacent Property Owner Letter & Mailing List 		

REQUEST:

The applicant, Gary Gard, is requesting Conditional Use Permit approval for the construction of a 1,288 square foot detached accessory garage (28' x 46') to be located at 2861 Morgan Circle, Rock Springs, Wyoming. The application is included as **Exhibit A** and the location is shown in **Figure 1**.



ANALYSIS OF PETITION:

In accordance with §13-815.E(4) of the Rock Springs Zoning Ordinance, “No residential accessory building or garage shall exceed 1,200 square feet of floor area unless granted a Conditional Use Permit” by the Rock Springs Planning and Zoning Commission. The proposed 28' x 46' structure exceeds the maximum allowable square footage by 88 square feet. The applicant has also shown an existing accessory structure with a total of 480 square feet. Combined this brings the grand total of accessory structure square footage to 1,768, which is 568 square feet over the allowable 1,200 square feet. The site plan is included in **Exhibit B**.

Setbacks: Detached accessory structures require a setback of fifteen (15) feet from side and rear property lines. The required fifteen (15) feet side and rear yard setback is measured from eaves, gutters, and awnings. As depicted on the site plan, the proposed structure will be 34.93 feet from the side property line, and 29.20 feet from the rear property line.

Lot coverage: The subject property is a near “pie shaped” lot situated on a cul-de-sac, having a total lot area is 54,079 square feet with an allowable lot coverage of 27,039.5 square feet. Based on the measurements provided on the site plan, the proposed and existing structure coverage falls under the maximum lot coverage of 50%.

Driveway: The property already has an expanded driveway meeting the detached garage driveway requirement. Also, it does not exceed the 65% maximum driveway width.

PUBLIC NOTIFICATION:

Adjacent Property Owner Notice letters were mailed to property owners located within 200 feet of the boundaries of the subject property on May 26, 2022 (Refer to **Exhibit C**). Staff will advise the Commission of any comments received after the date of this report.

PROCEDURE:

Conditional Use Permits are reviewed in accordance with §13-905. The Planning and Zoning Commission grants the final determination of the Conditional Use Permit. They are not forwarded to the City Council for review. As noted in §13-905.D., the Commission “shall consider the effect of the proposed use upon the health, safety, and general welfare of occupants of surrounding lands, existing and anticipated traffic conditions including parking facilities on adjacent streets and land, and the effect of the proposed use on the Comprehensive Plan. The Commission may grant the application by motion, imposing such conditions and safeguards as it deems necessary, or it may deny the application.”

Staff will provide a formal recommendation after any public comment at the Planning & Zoning Commission Meeting. At a minimum, staff recommends the following conditions of approval be attached:

1. Construction shall conform to the approved site plan and application, including required setbacks from property lines.
2. Structure shall not exceed the height of the primary structure.
3. Structure shall not be located in any easements.
4. Drainage shall not impact adjacent properties and appropriate erosion control measures shall be utilized, both during construction and when construction is complete.
5. The use of the accessory structure shall be limited to residential uses. Any Home Occupations within the structure shall comply with the City’s Home Occupations Requirements.
6. Planning approval does not constitute building permit approval. Contact the City of Rock Springs Building Department to obtain a building permit for the garage.

EXHIBIT A

APPLICATION



CITY OF ROCK SPRINGS CONDITIONAL USE APPLICATION

Planning & Zoning Division
212 D Street Rock
Springs WY 82901
307.352.1540 (phone)
city_planner@rswy.net

City Use Only:

Date Received 5-2-2022 File Number: P2-22-00180

A. PROJECT/BUSINESS NAME: DOUBLE G. CONSTRUCTION

B. PROPERTY ADDRESS: 2861 MORGAN CIRCLE

(IF THE PROPERTY DOES NOT HAVE AN EXISTING ASSIGNED ADDRESS, LEGAL DOCUMENTATION OF THE LOCATION MUST BE SUBMITTED – i.e. Property Tax ID Number, Legal Description, etc.)

C. CONTACT INFORMATION:

NOTE: The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.

Primary Contact Person (Applicant):

GARY GARD 307-389-6262 garygard@gmail.com
Name Phone Number Email Address
4 BIRCH DR Rock Springs WY 82901
Mailing Address City State Zip

Property Owner Information:

STEVE HARMON 371-3811 _____
Name Phone Number Email Address
2861 MORGAN CIR. Rock Springs WY 82901
Mailing Address City State Zip

Engineer Information (if applicable):

Engineer's Name Email

Company Name Phone Number Fax Number

Mailing Address City State Zip

Surveyor Information (if applicable):

DAVE JOHNSON djohnson@uintaengineering.com
Surveyor's Name Email
UESI 307-6588 _____
Company Name Phone Number Fax Number
Commercial Way Rock Springs WY 82901
Mailing Address City State Zip

C. CONDITIONAL USE PERMIT(S) REQUESTED (check all that apply):

**C.U.P. Requiring
Planning and Zoning Commission Approval**

- ☐ Adjusted Front Setback
- ☐ Bed and Breakfast Inn
- ☐ Corner Side Yard Attached Carport
- ☒ Detached Garage Exceeding 1,200sf
- ☐ Gas Pumps & Fueling Stations
- ☐ Lot Coverage Exceeding 50%
- ☐ Off-Site Parking
- ☐ Unpaved Parking Area (B-2 Zoning District)
- ☐ Use of Explosives
- ☐ Wireless Communication Facility in Residential Zoning District
- ☐ Other, please specify: _____

**C.U.P. Requiring
Staff Level Approval**

- ☐ Accessory Structure Exceeding Height of Primary Structure
- ☐ Special Purpose Fence
- ☐ Unpaved Parking Area (Industrial)
- ☐ Land Reclamation, Mining, & Soil Processing
- ☐ Garage Exceeding Three (3) Doors
- ☐ Driveway Access Exceeding 65% Street Frontage
- ☐ Sign
- ☐ Other, please specify: _____

D. PLEASE ANSWER THE FOLLOWING ON THE SPACES PROVIDED:

1. Provide a detailed description of the intended Conditional Use, including proposed use, length of use (permanent or temporary), hours of operation, etc.

GARAGE / BASKETBALL COURT
PRIVATE USE ONLY

2. Describe all existing and proposed structures and uses located on this property. A site plan shall accompany this application. Please refer to the attached Site Plan Checklist.

SEE SITE PLAN

3. Describe the effect of the proposed Conditional Use upon the health, safety, and general welfare of the occupants of surrounding lands, existing and anticipated traffic conditions including parking facilities on adjacent streets and land.

N/A

E. SUBMITTAL REQUIREMENTS:

All items shall be submitted together as a consolidated packet. Incomplete applications will not be reviewed and will be returned to the applicant.

For items requiring review by the Planning and Zoning Commission, the City of Rock Springs must receive the complete application by the submission deadlines found in the "Applicant's Guide to Conditional Use Permits" supplemental handout. Applications submitted after the submission deadlines will be postponed until the following month's Planning & Zoning Commission Meeting.

Initial next to each item to verify that the item is attached to this application:

MANDATORY ITEMS:	
	Filing Fee of \$60.00 (Checks made payable to the City of Rock Springs)
	Completed Application (signed by Applicant and Property Owner)
	Two (2) full sized site plan drawings (printed to scale) – see attached Site Plan Checklist
	One (1) reduced site plan (no larger than 11" x 17") – only if full-size site plan is larger than 11" x 17"
OPTIONAL ITEMS (BUT <u>STRONGLY ENCOURAGED</u> TO PREVENT DELAYS IN APPROVAL):	
	Building Elevations / Architectural Drawings
	Floor plans of building interior to show areas of use
	Property photos
	Additional information to support the Conditional Use request

F. SIGNATURES REQUIRED:

Applicant Certification:

I, the applicant, hereby certify the following:

- I have read, reviewed and understand the attached Site Plan Checklist, Conditional Use Review Procedures & Submission Deadlines.
- I understand that incomplete applications will not be processed and will result in delays.
- The information provided with this application, and attached information, is true and correct, and false or inaccurate information used by an applicant to secure compliance with the Zoning Ordinance shall be reason to deny or revoke any application or permit.
- I understand that it is the responsibility of the applicant and/or property owner to secure any and all required Local, Federal and State Permits (i.e. Building Permits, DEQ permits, County Permits, etc.) and I agree to contact those agencies accordingly.

Applicant's Signature: _____

Date: _____



5/2/2022

Property Owner Consent:

By signature hereon, I certify that I am the owner of the property that is the subject of this application and that I have read this application and consent to its filing.

Owner's Signature: _____

Date: _____



6/3/2022

SITE PLAN CHECKLIST

At a minimum, the following items shall be shown on your Conditional Use Permit site plan (check them off as you consider each one). Failure to include these items could result in delays/denials. If a separate Site Plan Application is required for your project in addition to the Conditional Use Permit Application (such as with new commercial construction), the same Site Plan may be attached to this application.

- ☐ Project Address
- ☐ Location map
- ☐ Names and mailing addresses of developer / owner and engineer / architect
- ☐ Boundary line of property with all dimensions
- ☐ Adjacent streets and street rights-of-way
- ☐ Gross square footage of existing and proposed structures and uses, including number of floors
- ☐ All paved and unpaved surfaces
- ☐ Parking facilities (including handicap parking) – including dimension of parking stalls, drive aisle widths, etc.
- ☐ Buildings and structures (existing and proposed), including setbacks from property lines for all structures
- ☐ Easements (access, utility, drainage, pedestrian, etc.)
- ☐ Utilities
- ☐ Landscaping
- ☐ Exterior signs
- ☐ Trash enclosures
- ☐ Surface water drainage arrows
- ☐ Location of Floodplain and/or Floodway on property, if applicable (separate Floodplain Development Permit Application also required)

CONDITIONAL USE PERMIT REVIEW PROCEDURES

ADMINISTRATIVE REVIEW PROCESS:

Application submittal...	Application is reviewed for completeness.
Within 5 working days after application submittal...	Planning staff will notify all property owners located within 200 feet of request.
At least 6 calendar days after application submittal...	The application may be forwarded to the Utility Review Committee for comment, dependent upon the type and complexity of the Conditional Use request. It may be determined that a Utility Review Committee Meeting is necessary to provide the applicant an opportunity to discuss the application with internal and external departments/agencies.
<u>No sooner</u> than 10 calendar days after adjacent property notification...	A Permit Determination shall be made based on the comments received from notified property owners and the Utility Review Committee. Permit Determination shall include such conditions as are deemed necessary to protect the health, safety and welfare of the community and surrounding neighborhood.
Within 10 working days of Permit Determination...	The decision of the Zoning Administrator may be appealed to the Planning & Zoning Commission via written request. Appeals may be made by the applicant or affected property owners. Appeals to the Planning & Zoning Commission will follow the Planning and Zoning Commission review process listed below.

PLANNING & ZONING COMMISSION REVIEW:

- ❖ Within three (3) working days of submittal, the Planning Department shall review the application for completeness with the Conditional Use Permit submittal requirements. A complete Conditional Use Permit Application must be received at least seventeen (17) days prior to the Planning and Zoning Commission meeting. Refer to the submittal schedule below.
- ❖ If the application does not conform to the submittal requirements, the application will be deemed as incomplete, the applicant will be notified, and the application will be returned.
- ❖ Agency Review –the Planning Department may refer material to appropriate agencies for review and comment. Comments will be due from the Utility Review Committee members at least seven (7) days after forwarding the Conditional Use Permit Application to the agencies.
- ❖ Based on the complexity of the project, a Utility Review Committee meeting may be scheduled to provide the applicant the opportunity to discuss the project with the Utility Review Committee. Utility Review Meetings are generally held on Tuesday afternoons and are scheduled in the order in which applications are submitted. Meeting notice only will be sent to the parties listed on the application, so be sure to provide all email address of whom you would like to be invited to the meeting. It is required that the petitioner or an assigned representative attend the Utility Review Meeting.
- ❖ At least seven (7) days prior to the Planning and Zoning Commission at which the Conditional Use Permit is to be considered, the Planning Department shall notify the property owners of land within 200 feet of the boundaries of the proposed Conditional Use Permit of the time and date of the meeting.
- ❖ The Planning and Zoning Commission shall review the Conditional Use Permit request at a public meeting. The Commission shall consider oral or written statements from the applicant, the public, City staff, and the Commission. The following shall be considered by the Commission:
 - Compliance with any conditions specified within the Zoning Ordinance regarding the particular Conditional Use;
 - Effect of the proposed use upon the health, safety, and general welfare of occupants of surrounding lands;
 - Existing and anticipated traffic conditions, including parking facilities on adjacent streets and land; and
 - The effect of the proposed use on the Comprehensive plan.
- ❖ The Commission may grant the application by motion, imposing such conditions and safeguards as it deems necessary, or it may deny the application.
- ❖ Conditional Use Permit applications may be denied by motion of the Commission. The denial shall constitute a finding that the applicant has not shown that the conditions required for approval do exist.
- ❖ The applicant shall be notified in writing of the action taken by the Commission. If the applicant is granted, any conditions, automatic terminations date, or period of review shall be stated on the Conditional Use Permit.
- ❖ No application for a Conditional Use Permit which has been denied wholly or in part shall be resubmitted for a period of six (6) months from the date of said order of denial, except on grounds of new evidence or proof of change of conditions found to be valid by the Commission.
- ❖ Conditional Use Permit approval does not constitute approval of any additional required applications for the development (including Floodplain Development Permit, Site Plan approval for new construction, Variances, etc.)
- ❖ Conditional Use Permit approval does not constitute Building Permit approval. Contact the Rock Springs Building Department at (307) 352-1540 for submittal requirements.
- ❖ If applying for an Occupational Tax Application (Business License), Site Plan Approval does not constitute Business License Approval.

P&Z COMMISSION REVIEW - CONDITIONAL USE PERMIT SUBMITTAL DEADLINES:

NOTE: Applications that are not received by **5:00 p.m.** on the Application Deadline will be postponed until the following month's meeting. If a deadline falls near a City holiday, please contact the Planning Department to verify the days City Hall will be closed to ensure that your application is submitted on time.

BE ADVISED: THE APPLICANT (OR ASSIGNED REPRESENTATIVE) MUST ATTEND ALL SCHEDULED MEETINGS.

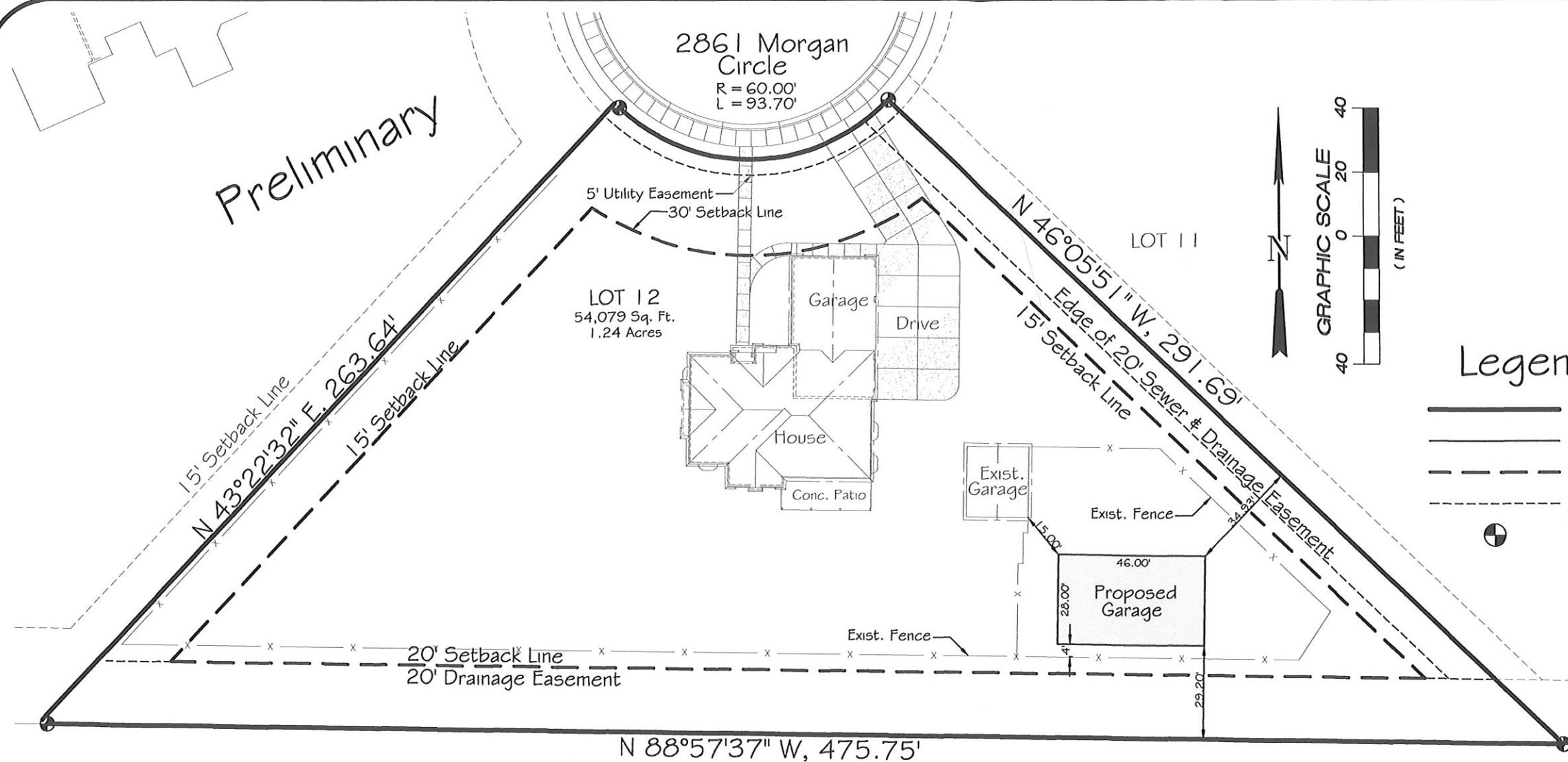
	January Meeting	February Meeting	March Meeting	April Meeting	May Meeting	June Meeting	July Meeting	August Meeting	September Meeting	October Meeting	November Meeting	December Meeting
Submittal Deadline	12/28/2021	1/24/2022	2/21/2022	3/28/2022	4/25/2022	5/23/2022	6/27/2022	7/25/2022	8/29/2022	9/26/2022	10/24/2022	11/28/2022
Review of Completeness	Within three (3) working days after the submittal, the planning Department shall review the application for conformance with the Conditional Use Permit submittal requirements. If the application does not conform to the submittal requirements, the application will be deemed as incomplete, the applicant will be notified, and the application will be returned.											
Utility Review Comments and/or Meeting *	Utility Review Meetings are held <u>at least</u> 7 days after application submittal. Utility Review Meetings are generally held on Tuesday afternoons and are scheduled in the order in which applications are submitted. A memo will <u>only</u> be sent to the parties listed on the application so be sure to provide all addresses of whom you would like to be invited to the meeting. It is required that the petitioner or an assigned representative attend the meeting. SEE NOTE BELOW.											
Adjacent Owner Notice	Property Owner Notices are prepared by the City of Rock Springs and are mailed to property owners within 200' of the effected property a minimum of seven (7) days prior to the Planning and Zoning Commission Public Hearing.											
P&Z Public Meeting	1/12/2022	2/9/2022	3/9/2022	4/13/2022	5/11/2022	6/8/2022	7/13/2022	8/10/2022	9/14/2022	10/12/2022	11/9/2022	12/14/2022

IMPORTANT NOTES:

* Utility review meetings are scheduled in the order in which applications are submitted to the City. In the event that a utility review meeting cannot be scheduled prior to the Planning and Zoning Commission Meeting due to the number of applications that are received ahead of your application, your application will have to be postponed until the following month's Planning and Zoning Commission meeting. Therefore, it is in your best interest to submit your application prior to the application deadline listed on the above table.

EXHIBIT B

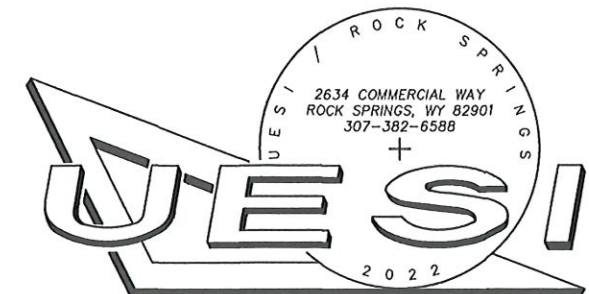
SITE PLAN AND BUILDING DRAWINGS



House Eave 22'
Ridge 10' (32')

$$\frac{22 + 32}{54} \div 2 = 27' \text{ mean height}$$

Garage Plot Plan
 LOT 12 of the
 SWEETWATER STATION, PHASE I
 LOCATED IN SECTION 16,
 RESURVEY OF T19N, R105W, 6th. P.M.
 IN THE CITY OF ROCK SPRINGS
 SWEETWATER COUNTY, WYOMING



DATE: 4/12/22 JOB #: 22-80-14 FILE: Plot Plan.dwg
 ENGINEER: Ken Walker, PE Drawn by: Dave Johnson

GENERAL NOTES

This plan was designed and drafted by Advanced House Plans to meet average conditions and codes in the State of Nebraska at the time it was designed. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, AHP cannot warrant compliance with any specific code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements, however, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal). The purchaser and/or builder of this plan releases the designer from any claims or lawsuits that may arise during the construction of this structure or any time thereafter.

* If the contractor or sub-contractor, in the course of their work, finds any discrepancies between the plan and the physical conditions of the site or structure, or any errors in the plans or specifications, it shall be their responsibility to immediately inform AHP, who will promptly verify and if necessary correct the working drawings. Any work done after such discovery will be done at the contractor's expense.

* Only the purchaser of this plan has permission to build this plan. The purchaser is given permission to reproduce the drawings only as required for such construction. The purchaser also has permission to modify this plan. No permission is given to any party to claim copyright on the original or modified plan. The modified plan shall remain subject to the license and may not be sold, distributed or otherwise transferred without the express written consent of Advanced House Plans. Infringing upon Advanced House Plans' copyright through reproduction, distribution or reworking a design is punishable by law with fine up to \$100,000 as defined by architectural copyright law.

DESIGN LOADS:

* Ultimate design wind speed: 115 mph, Exposure Category: B

* Seismic Design Category: A

* Floor: 40 psf, live
15 psf, dead

* Roof: 30 psf, live
10 psf, dead

* Ceiling: 10 psf, live
5 psf, dead

* Soil bearing Capacity - 1500 psf.

* Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building official for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

* All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.

* All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.

* Provide proper expansion and control joints as per local requirements.

* All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.

* All 48" x 48" x 24" concrete pads to have (4) #5 rods each way.

* Foundation walls are not to be backfilled until properly braced.

* Verify depth of frost footings with your local codes.

* Provide termite protection as required by HUD minimum property standards.

* Foundation bolts must be anchored to sill plate with 3/8" bolts embedded 18" in concrete walls.

* For window openings in conc. wall, provide 19 bars #4 o.c. (top total) with clearance from top 4 sides of opp. for jumbo lateral reinforcing. Extend reinforcing a minimum of 2 post opening edges.

STEEL:

* All structural steel for beams and plates shall comply with ASTM specification A-36.

* All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.

* All reinforcing steel for concrete shall comply with ASTM specification A-63 Grade 60.

* Provide steel shims in all beam pockets.

* Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:

* Unless noted otherwise, all framing lumber shall have the following characteristics:

Re = 1000 psi Fv = 15 psi E = 1,400,000 psi

* Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.

* Wall bracing method assumed as C2-UBP. Since braced wall line spacing and braced wall panel calculations vary by location, purchaser will need to consult a local professional for specific wall bracing calculations and diagrams.

* Note sizes and locations in GVLN or Laminated Veneered Lumber (L.V.L.) members are to be confirmed by a professional engineer.

* Any structural or framing members not indicated on the plan are to be sized by contractor.

* Double floor joists under all partition walls, unless noted otherwise.

* All subflooring is assumed to be 3/4" thick, glued & nailed.

* All exterior walls are dimensioned to outside of 1/2" sheathing.

* Calculated dimensions take precedence over scaled dimensions.

* All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

* Laterally unsupported walls 12'-0" high or higher shall be 2x6 and balloon framed unless noted otherwise.

* Unless noted otherwise, above all openings that are:

(1) Load bearing and less than or equal to 3 ft. use 4x6.

(2) Load bearing and more than 3 ft. use (2) 2x12 with 1/2" Plywood between.

(3) Non-load bearing and less than or equal to 6 ft. use 4x6.

(4) Non-load bearing and more than 6 ft. use (2) 2x12 with 1/2" Plywood between.

(5) All exterior openings use (2) 2x12 with 1/2" Plywood between.

* All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.

* All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.

* (1) 2x6 or 2x8 cross-bridging on all spans over 8'-0" and (2) 2x6 or 2x8 cross-bridging on all spans over 16'-0".

* Collar ties are to be spaced 4'-0" o.c.

* All rafters and kickers are to be 2x6, unless noted otherwise.

* Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:

* Prefabricated fireplaces and flues are to be UL approved and installed as per manufacturer's specifications.

* All materials, supplies and equipment to be installed as per manufacturer's specifications and per local codes and requirements.

* Provide proper insulation for all plumbing.

* 1/2" water-resistant drywall around showers, tubs and whirlpools.

* 1/2" drywall on interior walls and ceilings.

* 5/8" type 'X' fire code drywall on garage walls and ceilings.

* When no brand is specified windows are called out by glass size only.

* In dwelling units, where the top of the sill of an operable window opening unit is located less than 24 inches above the finished floor and greater than 10 inches above the finished grade, fall protection must comply with R302.2.

* Window opening control devices on windows serving as a required emergency escape and rescue shall comply with ASTM F2092.

* Windows, if not noted, are assumed to be egress windows.

* Header heights are labeled to bottom of architrave.

* Confirm window openings for your local egress requirements and minimum light and ventilation requirements.

* Headroom at stairs shall have a minimum clearance of 6'-8" high.

* Provide proper handrails at stairs per local codes.

* The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.

* Jog this to rear of ridge as necessary.

* Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools per manufacturer's specifications.

* Air conditioner locations may vary depending on restrictive covenants and codes.

Gary Gard

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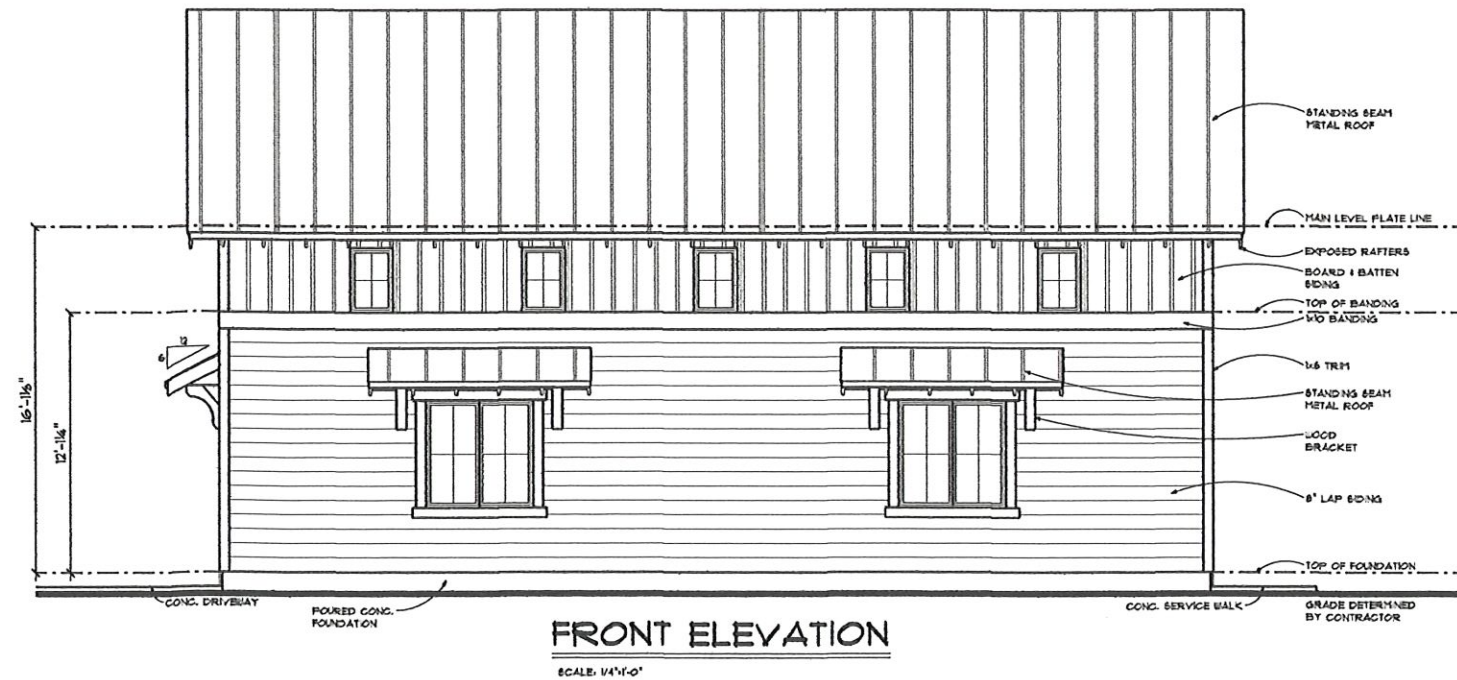
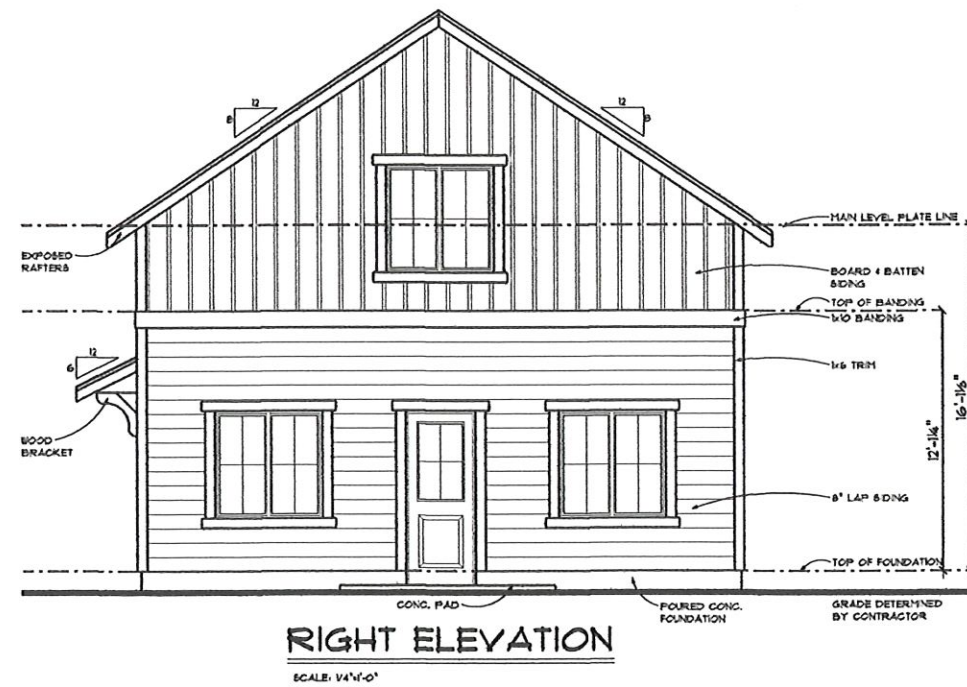
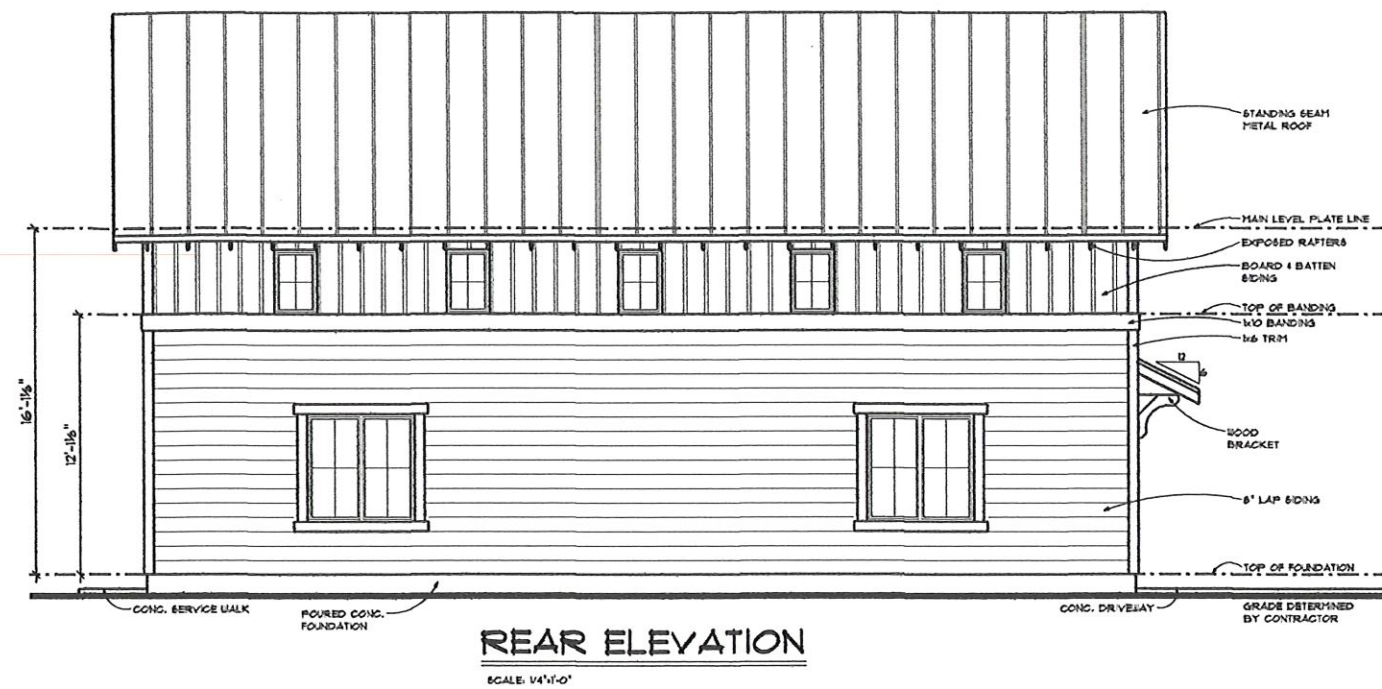
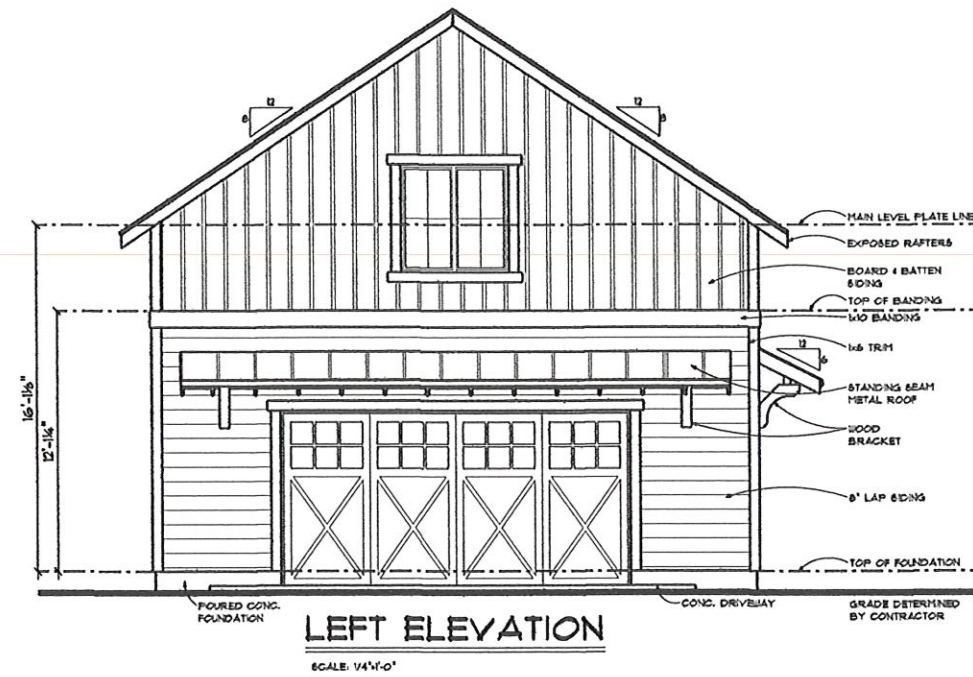
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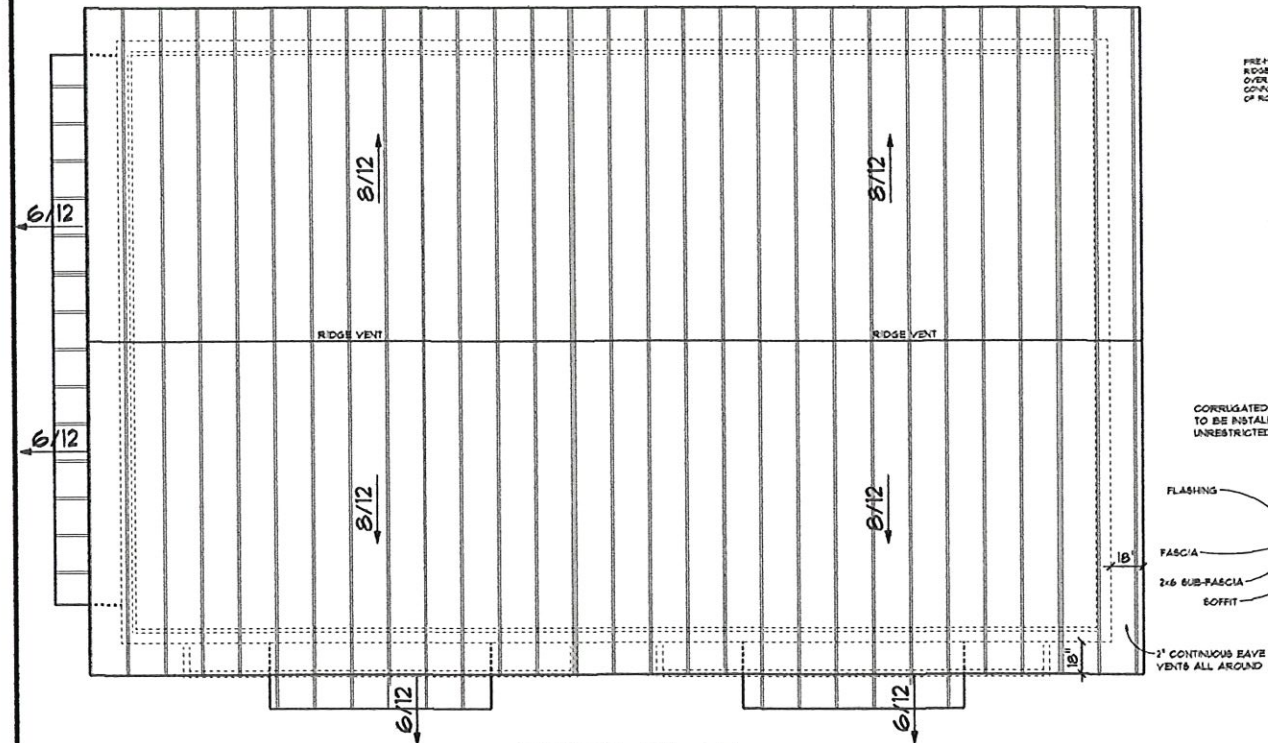
WARRANT THE AUTHORITY OF THESE PLANS FOR USE ON YOUR SPECIFIC SITE. THE CONTRACTOR MUST BE ADVISED THAT THESE PLANS SHOULD NOT BE INTERFERED WITH WITHOUT THE ASSISTANCE OF A CONSTRUCTION PROFESSIONAL. ANY UNDESIRABLE/CONTRACTOR MUST THOROUGHLY REVIEW A VERY RARE ALL DIMENSIONS, MATERIALS, CONSTRUCTION CODE & SITE REQUIREMENTS PRIOR TO CONSTRUCTION.

THEY RELEASE ADVANCED HOUSE PLANS FROM ANY LIABILITY THAT MAY OCCUR DURING OR AFTER THE BUILDING PROCESS.

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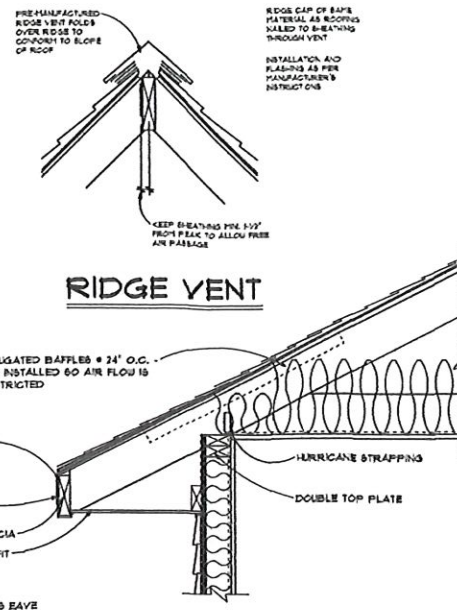
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the potential to create a barrier to entry for competitors, and the potential to create a barrier to entry for competitors.



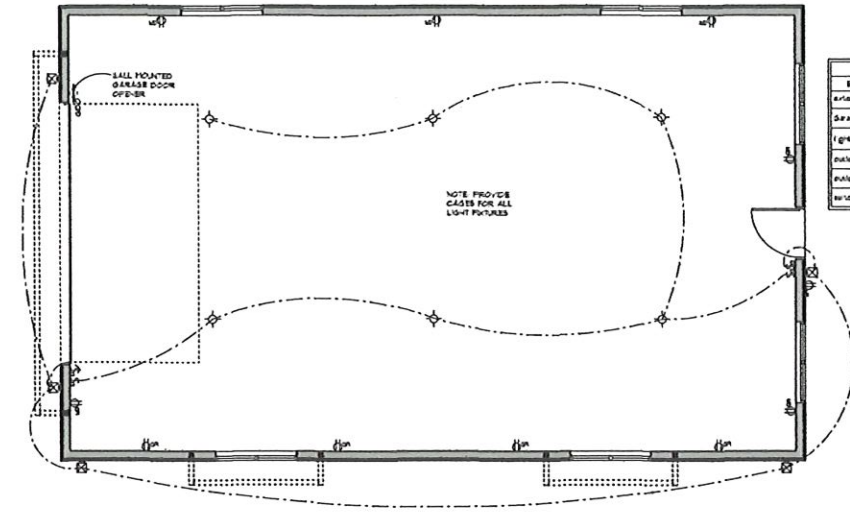
ROOF PLAN

SCALE: 1/4"=1'-0"
NOTE: ALL ROOF IS STANDING BEAM METAL









EAVE VENT

SCALE: 1-1-0



MAIN LEVEL ELECTRICAL PLAN

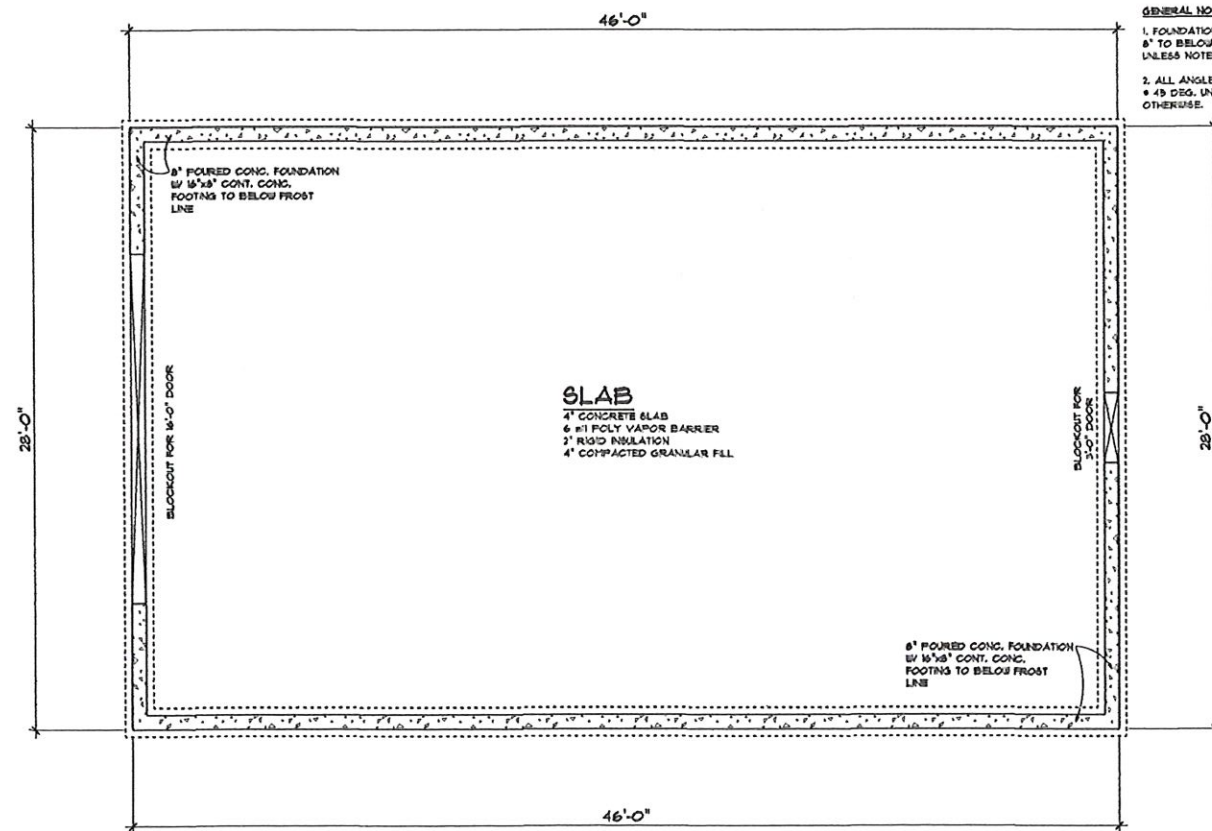
SCALE 3/4" = 1'

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
exterior light OS	5	
Garage Door outlet	1	
light	6	
outlet gfi	10	
outlet up	1	
switch 3 way	4	

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	24X36 CASEMENT 1	2'-0" x 3'-0"	10
2	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	8
D	GARAGE	12X36 6T B&E	16'-0" x 8'-0"	1
E	DOOR	36X36 1	5'-0" x 8'-0"	1

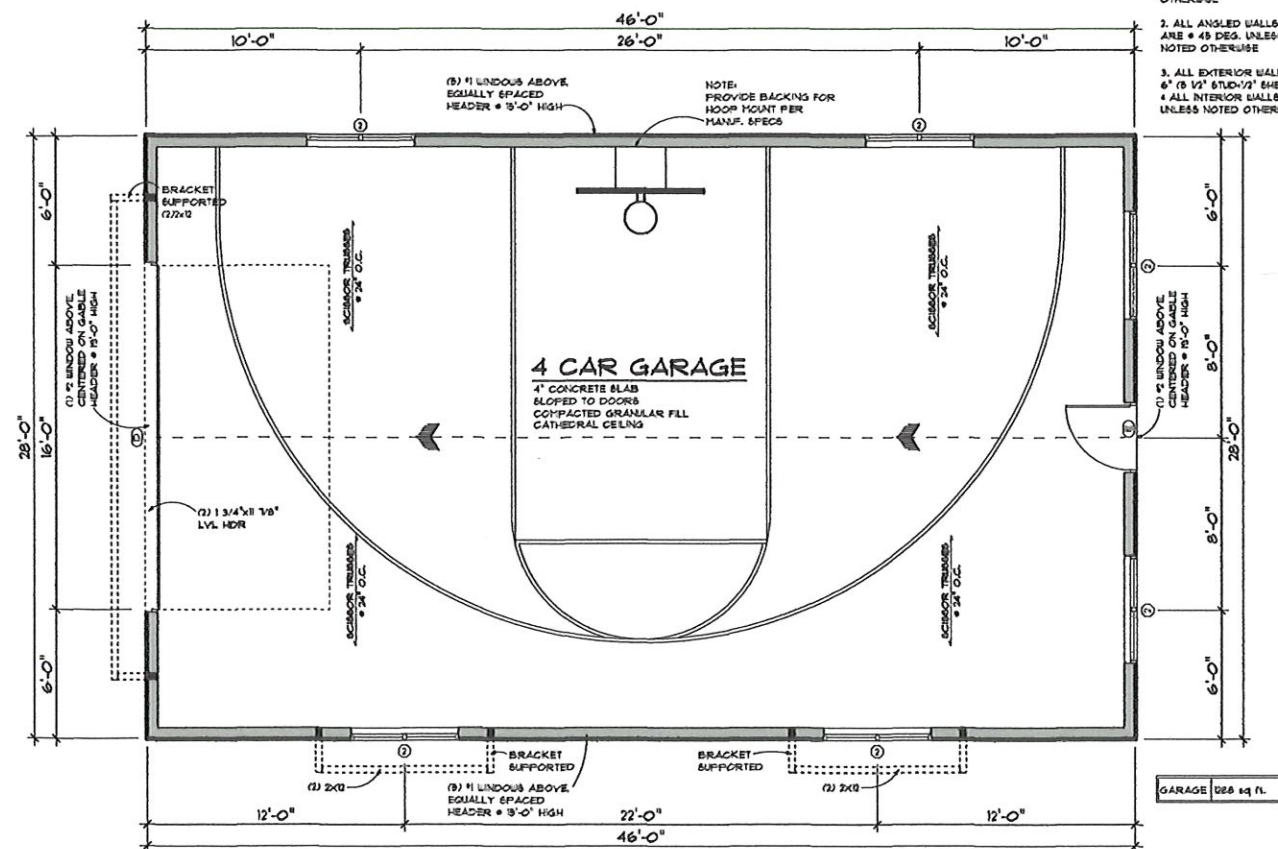
GENERAL NOTES:

1. ALL MAIN LEVEL WALLS ARE 16'-1 1/8" HIGH UNLESS NOTED OTHERWISE
2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE
3. ALL EXTERIOR WALLS ARE 6" (B 1/2" STUD-1/2" SHEATHING)
4. ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE



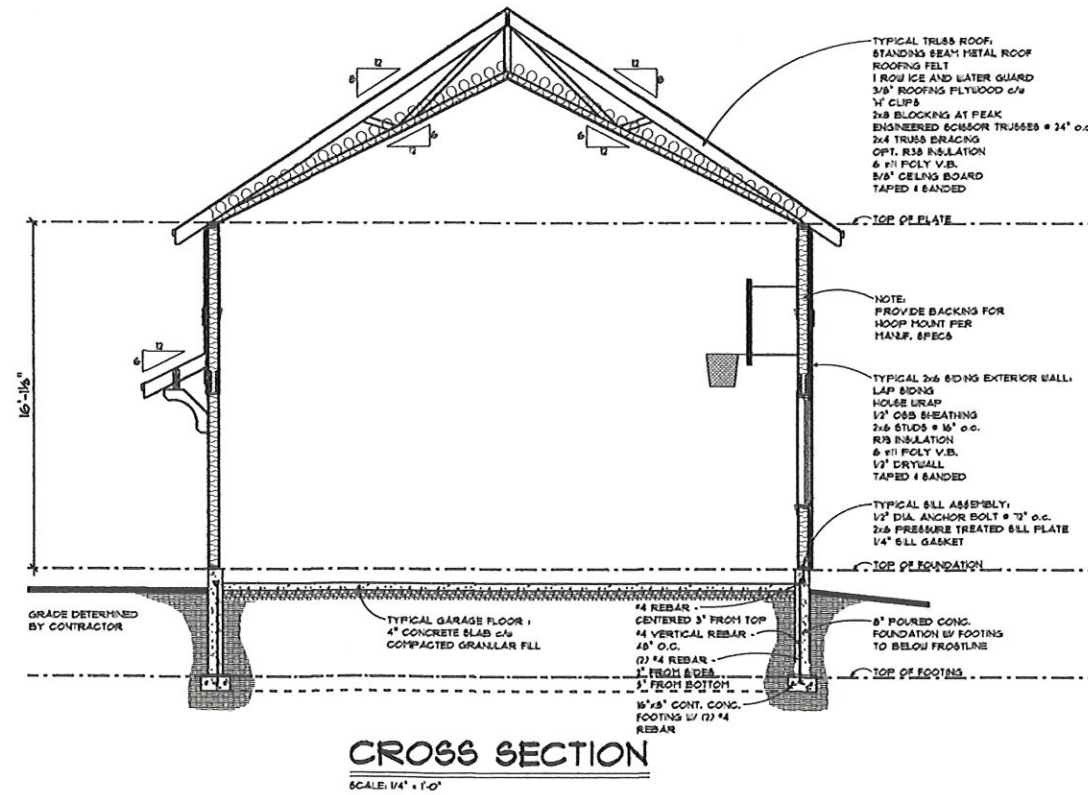
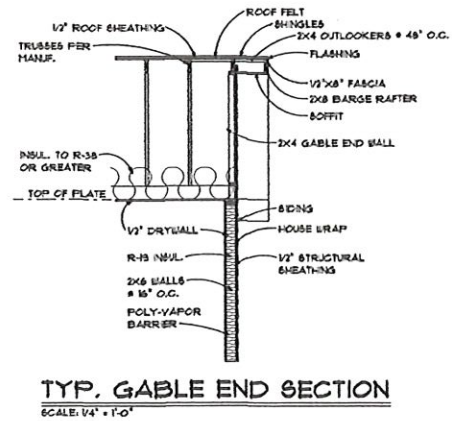
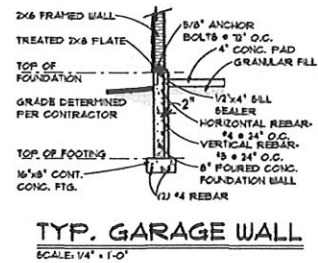
FOUNDATION PLAN

SCALE: 1/4"=1'-0"



MAIN LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"



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EXHIBIT C

ADJACENT PROPERTY OWNER LETTER & MAILING LIST

May 26, 2022

Dear Property Owner / Interested Party:

This letter is to inform you that a request has been made by Gary Gard (contractor), on behalf of Steve Harmon (property owner) for a Conditional Use Permit on property located at 2861 Morgan Circle. Records show that this property is adjacent to or within two hundred (200) feet of property you own. The following summarizes the application:

A request from the applicant for a 1,288 square foot detached accessory structure. The proposed site plan is attached.

In accordance with Section 13-815.E.5 of the Rock Springs Zoning Ordinance, "no permit shall be issued for the construction of any number or type of accessory buildings with a maximum total combined square footage of 1,200 square feet. If total combined square footage is over 1,200 square feet, a Conditional Use Permit shall be required prior to obtaining a building permit".

The Rock Springs Planning and Zoning Commission will consider the application at a public meeting on Wednesday, June 8, 2022 at 7:00 p.m. in the City Council Chambers. You may attend said meeting or submit written comment **no later than 5:00 p.m. on June 8, 2022.**

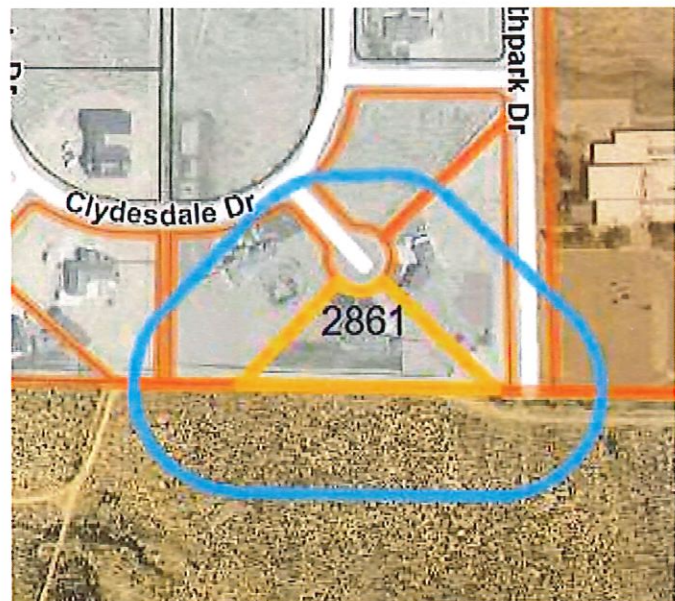
If you have any questions regarding this information, please contact the Planning and Zoning Division at (307) 352-1540.

Sincerely,



Cathy Greene
City Planner

Enc.



BLM 190516 280 US-191 Rock Springs, WY 82901	CROFTS RORY M & BRIANNE M 3801 CLYDESDALE DR ROCK SPRINGS, WY 82901-8126	CROSS ALLYSON 2831 MORGAN CIR ROCK SPRINGS, WY 82901-8124
GONZALEZ JOSE A PO BOX 434 ROCK SPRINGS, WY 82902-0434	OSBORNE JUDITH A 3851 CLYDESDALE DR ROCK SPRINGS, WY 82901-8126	SWEETWATER CO SCHOOL DIST #1 PO BOX 1089 ROCK SPRINGS, WY 82902-1089
YADIER MOLINA JONEZ LIV TRUST HARMON STEVEN M & LINDSAY D TRUSTEES 2861 MORGAN CIR ROCK SPRINGS, WY 82901-8124	City of Rock Springs 212 D Street Rock Springs, WY 82901	



Planning & Zoning Commission Staff Report

Prepared June 2, 2022
Meeting June 8, 2022 at 7:00 p.m.

REPORT SUMMARY			
Agenda Item:	New Business #2	Project Number:	PZ-22-00212
Project Name:	Aspen Mountain Medical Center Planned Unit Development (PUD) Concept Plan		
Project Location:	10 acres at the southeast corner of the intersection of Stagecoach Boulevard and College Drive.		
Project Description:	Step One of a Planned Unit Development / Subdivision		
Applicant:	Curtis Mayse 705 Marketplace Plaza, Ste. 200 Steamboat Springs, CO 80487	Property Owner:	Aspen Mountain Real Estate LLC 11350 Tomahawk Creek Parkway, Ste. 150 Leawood, KS 66211
Engineer:	Shawn Arnoldi, PE WHS 1515 9 th Street, Ste. A Rock Springs, WY 82901	Surveyor:	Theron Weston, PLS WHS 1515 9 th Street, Ste. A Rock Springs, WY 82901
Public Notification:	N/A		
Current Master Plan Land Use Designation:	C (Commercial)	Proposed Master Plan Land Use Designation:	No proposed change
Current Zoning District:	B-2 and B-2(CD) (Community Business, Parallel Conditional)	Proposed Zoning District	No proposed change
References:	Rock Springs Zoning Ordinance §13-812 PUD Overlay Zone Rock Springs Zoning Ordinance §13-906 Procedure for PUD		
Exhibits:	A. PUD Concept Plan – Aspen Mountain Medical Center MOB B. PUD Concept Plan Application C. Utility Review Comment Forms from May 17 th and May 31 st . D. Site Plan from 2014		

PETITION:

WHS, is presenting a Concept Plan for the proposed Aspen Mountain Medical Center Planned Unit Development Plan/Subdivision. The Concept Plan can be found in **Exhibit A**, and the application as **Exhibit B**.

PROPERTY LOCATION AND DESCRIPTION:

As shown in **Figure 1**, the property is located south of Stagecoach Blvd. The property is developed by Major Site Plan approval and adjacent land uses are as follows:

North – Stagecoach Blvd / Vacant Land Zoned B-2

South – Vacant Land / Zoned B-2

West – College Drive / College Estates Subdivision Zoned R-1

East – Vacant Land / Zoned B-2

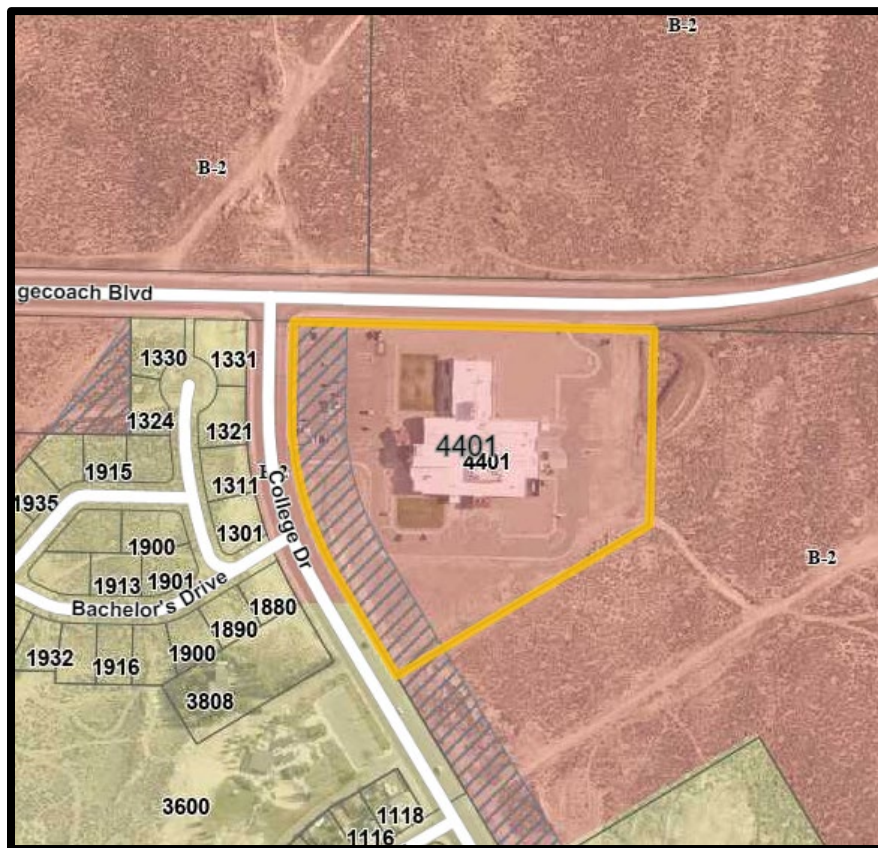


Figure 1: Location Map

UTILITY REVIEW:

A Utility Review Meeting was first scheduled on May 17, 2022, when it was determined that a PUD would be required, then another was scheduled and held on May 31, 2022 to discuss the proposed Concept Plan. Because

the Concept Plat stage of the process is a comment-gathering stage only, no modifications shall be required until the Preliminary Plat application is filed. The submitted Utility Review Comments can be found in **Exhibit C**.

CONCEPT PLAN REVIEW:

A Planned Unit Development differs from standard subdivisions in that in addition to submitting a plat to just divide the land, the petitioner is also submitting a development plan for the proposal, which is more detailed than the standard subdivision plat.

There are three items to note regarding the submittal of a PUD Concept Plan:

(1) Submittal Requirements.

The Concept Plan shall indicate proposed land uses, general circulation patterns, general building massing, property boundaries, existing land uses on adjacent properties, special site conditions or problems. A computation table showing proposed land use allocations in acres and percent of total site area shall be included on the Concept Plan.

(2) Planning and Zoning Commission Review.

The Zoning Administrator shall schedule an informal review by the Planning and Zoning Commission at its next regularly scheduled meeting. The Commission shall review the Concept Plan and shall determine whether the Plan is in conformance with the City Comprehensive Plan. The Commission may instruct the applicant regarding features or design elements to be included in the Preliminary Development Plan and what exceptions or variances to this Ordinance it may be willing to allow in exchange for certain publicly beneficial design or planning features.

(3) City Council Review.

It is not required that the City Council review P.U.D. Concept Plans, however, the applicant may request a Concept Plan review by the Council following Commission review and comment. The scope of review and comment by the Council shall be the same as that of the Commission.

The applicant will provide the Planning and Zoning Commission with a presentation of the Concept Plan at the meeting. Also note that this is only a Concept Plan at this time. No action is necessary from the Planning and Zoning Commission at this meeting; however, the applicant would greatly appreciate your input at this time for preparation of the Preliminary Development Plan.

Step two is a Preliminary Development Plan and Subdivision Plat

Step three is a Final Development Plan and Final Subdivision Plat

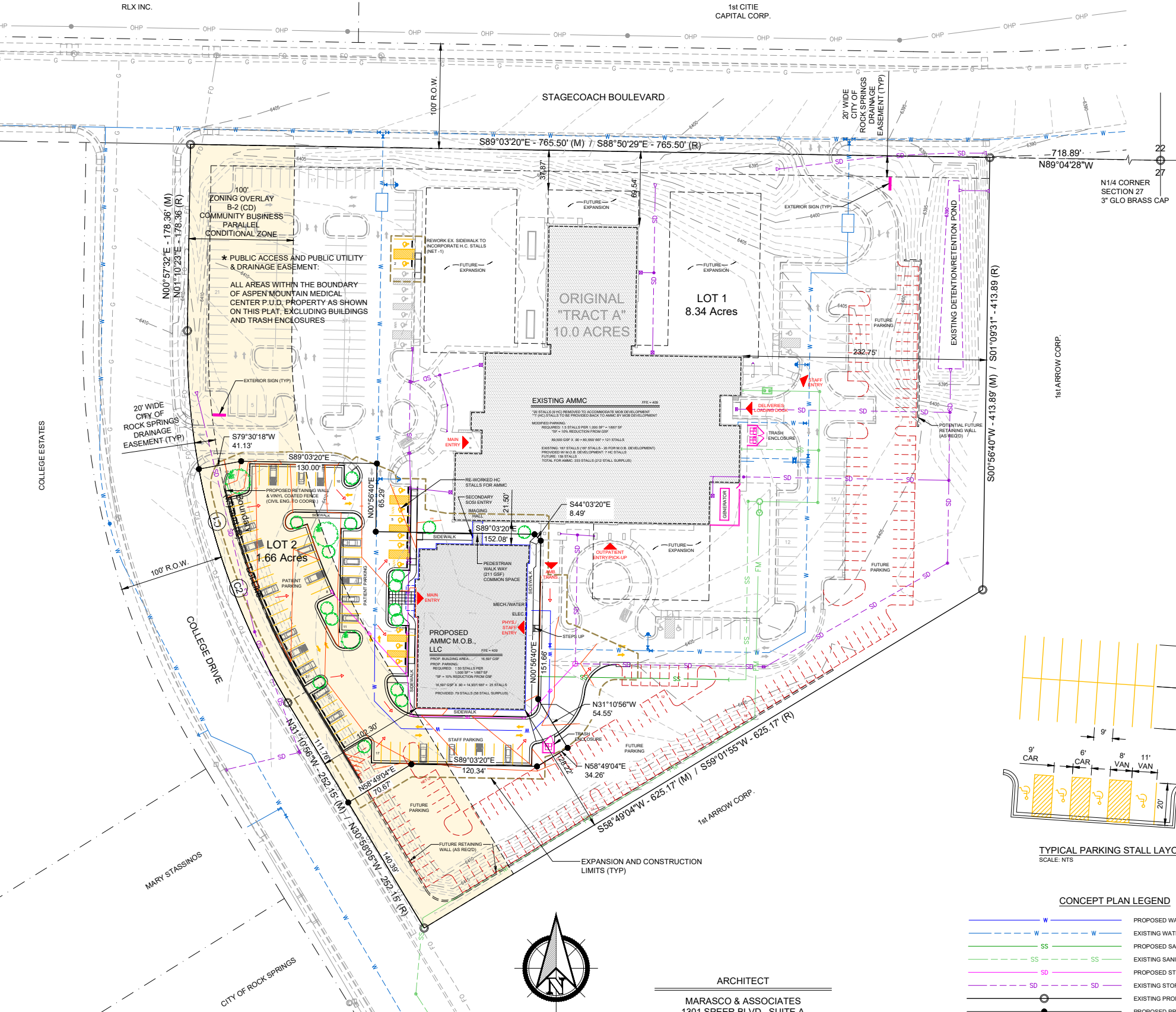
SUMMARY

In 2014, Aspen Mountain Medical Center, LLC received Major Site Plan approval for the existing medical center, see **Exhibit D**. Due to the uniqueness of the proposed development with items such as: the proposed lot accesses from within the existing, dedicated easements, zero setbacks, no “streets”, and a proposed pedestrian corridor connecting the structures. With these items, a PUD will address and allow such a creative development.

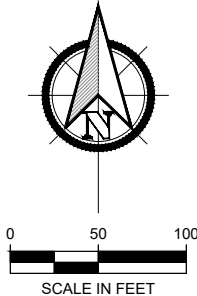
EXHIBIT A

CONCEPT PLAN

PLANNED UNIT DEVELOPMENT CONCEPT PLAN
ASPEN MOUNTAIN MEDICAL CENTER M.O.B.
LOCATED IN SECTION 27, T.19N., R.105W., 6TH P.M.
ROCK SPRINGS, SWEETWATER COUNTY, WY



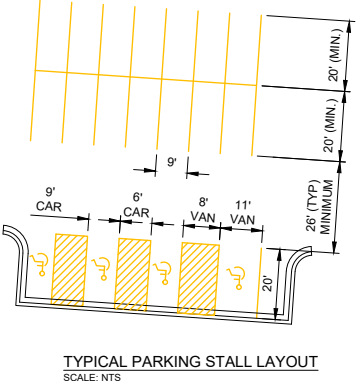
CURVE TABLE					
CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING
C1	373.72'	666.20'	191.92'	32°08'29"	S15°06'42"E
C2	240.54'	666.20'	121.59'	20°41'15"	S20°50'19"E
CHORD LENGTH					
368.84'					
239.24'					



ARCHITECT
MARASCO & ASSOCIATES
1301 SPEER BLVD., SUITE A
DENVER, CO 80204
JUSTIN BARENT, 1-303-832-2887

LAND DEVELOPER
ASPEN MOUNTAIN REAL ESTATE, LLC
11350 TOMAHAWK CREEK PKWY, STE 150
LEAWOOD, KS 66211

- CONCEPT PLAN LEGEND
- W — PROPOSED WATER MAIN
 - W — EXISTING WATER MAIN
 - SS — PROPOSED SANITARY SEWER MAIN
 - SS — EXISTING SANITARY SEWER MAIN
 - SD — PROPOSED STORM SEWER MAIN
 - SD — EXISTING STORM SEWER MAIN
 - EXISTING PROPERTY BOUNDARY WICORNER
 - PROPOSED PROPERTY LINE WICORNER
 - 6405 — EXISTING CONTOURS (1' INTERVAL)
 - 405 — PROPOSED CONTOURS (1' INTERVAL)
 - (M) / (R) — PROPERTY BOUNDARY FOUND OR TO BE SET
 - MEASURED / RECORD
 - GENERAL OVER-LOT FLOW DIRECTION



NOTES:

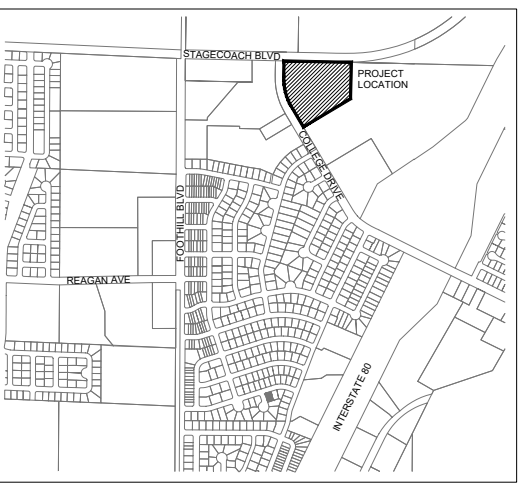
EASEMENTS: ★ THE PLANNED UNIT DEVELOPMENT WILL HAVE A BLANKET EASEMENT THAT WILL APPLY TO ALL ACCESSSES AND ALL UTILITIES.

WATER: ASPEN MOUNTAIN MEDICAL CENTER P.U.D. WILL BE SERVED BY THE CITY OF ROCK SPRINGS WATER SYSTEM.

SANITARY: ASPEN MOUNTAIN MEDICAL CENTER P.U.D. WILL BE SERVED BY THE CITY OF ROCK SPRINGS SANITARY SEWER SYSTEM.

STORM: ASPEN MOUNTAIN MEDICAL CENTER P.U.D. WILL BE SERVED BY A DETENTION/RETENTION POND AS SHOWN.

FEMA: THIS PLANNED UNIT DEVELOPMENT IS NOT LOCATED IN THE 100 YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



SITE INFORMATION	
ZONE: COMMUNITY BUSINESS (B-2) WITH ZONING OVERLAY B-2 (CD) COMMUNITY BUSINESS PARALLEL CONDITIONAL ZONE AS SHOWN ON THIS MAP	
PROPOSED P.U.D. SITE AREA: ~435,599 SF (~10.00 ACRES)	
YARD REQUIREMENTS (BOUNDARY SETBACKS):	
BUILDING: FRONT: "35'-0"	PARKING: FRONT: 4'-0"
SIDE: "35'-0"	SIDE: 4'-0"
SIDE: "35'-0"	SIDE: 3'-0"
REAR: "35'-0"	REAR: 3'-0"
*OR THE HEIGHT OF THE BUILDING, WHICHEVER IS GREATER	
EXISTING - AMMC BLD'G HT. = 27'-1"	
PROPOSED - AMMC MOB BLD'G HT. = 27'-1"	
BUILDING AREA:	
EXISTING AMMC, LLC BUILDING:	51,500 GSF
FUTURE EXPANSION:	~38,000 GSF
TOTAL:	~89,500 GSF
AMMC MOB, LLC:	
PROPOSED:	16,694 GSF
TOTAL:	16,694 GSF
PARKING REQUIREMENTS:	
EXISTING AMMC, LLC BUILDING:	
*SEE CALCULATIONS WITHIN BUILDING FOOTPRINT ON SITE PLAN	
**EX. BLD'G HAS A SURPLUS OF 118 STALLS, OF WHICH 19 WILL BE REMOVED TO ACCOMMODATE MOB DEVELOPMENT. 6 STALLS (ALL HC) WILL BE PROVIDED BY MOB DEVELOPMENT FOR EXISTING BUILDING TO MEET 10% HC STALL REQUIREMENT.	
PROPOSED AMMC MOB, LLC BUILDING:	
REQUIRED: 1.5 STALLS PER 1,000 SF* = 1/667	
*SF = 10% REDUCTION FROM GSF	
16,597 GSF X .90 = 14,937/667 = 23 STALLS	
PROVIDED:	79 STALLS
TOTAL:	79 STALLS
*DOES NOT INCL. 6 STALLS FOR EX. BLD'G	
STANDARD STALL SIZE: 9'-0" X 20'-0"	
STANDARD DRIVE SIZE: 26'-0"	

PROJECT NO.: 22017

DRAWN BY: KBK

REVIEWED BY: SMA

SHEET NO. C1.1

DATE: 06-01-22

REV.: +

LAND OWNER
ASPEN MOUNTAIN REAL ESTATE, LLC
4401 COLLEGE DRIVE
ROCK SPRINGS, WYOMING

ASPEN MOUNTAIN MEDICAL CENTER
PLANNED UNIT DEVELOPMENT CONCEPT PLAN
SHEET 1 OF 1

Report packet page 30

EXHIBIT B

APPLICATION



**CITY OF ROCK SPRINGS
PLANNED UNIT DEVELOPMENT
CONCEPT PLAN
APPLICATION**

Planning & Zoning Division
212 D Street
Rock Springs WY 82901
307.352.1540 (phone)
Email: city_planner@rswy.net

STAFF USE ONLY:

Date Received: 5-23-2022

Project Number: P2-22-00212

A. SUBDIVISION NAME: Aspen Mountain Medical Center Subdivision

B. CONTACT INFORMATION:

NOTE: The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.

Primary Contact Person (Applicant):

<u>Curtis Mayse</u>	<u>970-875-3001</u>	<u>cmayse@steamboatortho.com</u>	
Name	Phone Number	Email Address	
<u>705 Marketplace Plaza, Suite 200</u>	<u>Steamboat Springs</u>	<u>CO</u>	<u>80487</u>
Mailing Address	City	State	Zip

Property Owner Information:

<u>Aspen Mountain Real Estate, LLC</u>			
Name	Phone Number	Email Address	
<u>11350 Tomahawk Creek Parkway, Suite 150</u>	<u>Leawood</u>	<u>KS</u>	<u>66211</u>
Mailing Address	City	State	Zip

Engineer Information:

<u>Shawn M. Arnoldi, PE</u>	<u>sarnoldi@whsmithpc.com</u>		
Engineer's Name	Email		
<u>WHS</u>	<u>307-362-6065</u>		
Company Name	Phone Number	Fax Number	
<u>1515 Ninth Street, Suite A</u>	<u>Rock Springs</u>	<u>WY</u>	<u>82901</u>
Mailing Address	City	State	Zip

Surveyor Information:

<u>Theron Weston, PLS</u>	<u>tweston@whsmithpc.com</u>		
Surveyor's Name	Email		
<u>WHS</u>	<u>304-362-6065</u>		
Company Name	Phone Number	Fax Number	
<u>1515 Ninth Street, Suite A</u>	<u>Rock Springs</u>	<u>WY</u>	<u>82901</u>
Mailing Address	City	State	Zip

C. AT A MINIMUM, THE FOLLOWING INFORMATION SHALL APPEAR ON THE CONCEPT PLAN:

- ☒ Proposed land uses and general design plan and layout.
- ☒ General circulation patterns.
- ☒ Property boundaries.
- ☒ Existing land uses of adjacent properties
- ☒ Special site conditions or problems
- ☒ Computation table showing proposed land use allocations in acres and percent of the total site area.

D. PLANNED UNIT DEVELOPMENT CRITERIA CHECKLIST:

The following checklist outlines the Planned Unit Development criteria to be considered when laying out the development. This checklist must be completed and submitted as part of the Concept Plan Application. The Planned Unit Development shall conform to the following:

- ☒ Ownership: The tract shall be a development of land under unified control at the time of application, planned and scheduled to be developed as a whole. However, no authorizations or permits shall be granted for such development unless the applicant has acquired actual ownership of or executed a binding sales contract for all of the property comprising such tract. The term "single ownership" shall include ownership of portions of such development by two (2) or more wholly owned subsidiaries of a single owner, or by such single owner and one (1) or more of its wholly owned subsidiaries.
- ☒ Conformance with Comprehensive Plan: The proposed Planned Unit Development shall be consistent with the City of Rock Springs' Comprehensive Plan.
- ☒ P.U.D. Area Regulations: The minimum total P.U.D. area shall be no less than five (5) acres unless the applicant can show that the minimum P.U.D. area requirements should be waived because the waiver would be in the public interest and that one or both of the following conditions exist:
 1. Unusual physical features of the property itself or of the surrounding neighborhood are such that development under the standard provisions of the Residential Districts would not be appropriate in order to conserve a physical or terrain feature of importance to the neighborhood or community.
 2. The property is adjacent to or across the street from property which has been developed under the provisions of this section and will contribute to the amenities of the neighborhood.
- ☒ Density in Residential P.U.D.'s: 10% increase:
 1. A residential P.U.D. may provide for a variety of housing types in any one of the basic residential zoning districts. In addition, the number of dwelling units allowed may be flexible relative to the number of dwelling units per acre that would otherwise be permitted by the zoning regulations applicable to the site. However, the total number of dwelling units allowed in a P.U.D. shall be consistent with the Land Use Element of the City's Comprehensive Plan and in no case shall the unit density be exceeded by more than 10% of that permitted by the Comprehensive Plan.
 2. If the unit density exceeds that permitted by the Comprehensive Plan, the applicant has the burden to show that such increase in density will not have an undue and adverse impact on existing public facilities or on neighboring properties.
 3. In determining the reasonableness of the increase in unit density, the Planning and Zoning Commission and City Council shall consider increased efficiency in public facilities and services based, in part, upon:
 - (a) The location, amount and proposed use of common open space;
 - (b) The location, design and type of dwelling units;
 - (c) The physical characteristics of the site;
 - (d) Particular distinctiveness and excellence in siting, design, and landscaping;
 - (e) Dedication of more than the minimum required for public lands or open space.

- ☒ Front, Rear and Side Yard Building Setback Regulations: Residential building setbacks from all property lines which form the perimeter of the P.U.D. or from all interior and exterior dedicated street right-of-way lines or from the paving of any private interior circulation streets shall be no less than 20 feet; commercial building setbacks shall be no less than 35 feet or the height of the building, whichever is greater.
- ☒ More Than One Building Per Lot: More than one building may be placed on one platted or recorded lot in any P.U.D. Areas for single-family detached dwellings or other housing types providing privately owned lots must comply with the City's Subdivision Ordinance in all respects not specifically noted in this section as appropriate variances or waivers.
- ☒ One Housing Type Not Inconsistent With Intent: A P.U.D. which only involves one housing type such as all detached or all attached units shall not be considered as inconsistent with the stated purposes and objectives of this section and shall not be the sole basis for denial or approval.
- ☒ Building Permits; When Issued: No building permits shall be granted for any building on land for which an application for a P.U.D. is in the process of City review or which does not conform to the approved P.U.D.
- ☒ Architectural Style, Appearance: Architectural style of buildings shall not solely be a basis for denial or approval of a plan. However, the overall appearance and compatibility of individual buildings to other site elements or to surrounding development will be primary considerations in the review stages of the Planning and Zoning Commission and Council.
- ☒ Staging of Development.
 1. Any P.U.D. plan proposed to be constructed in stages shall include full details relating thereto, and the City Council may approve or modify where necessary any such proposals.
 2. The staging shall include the time for beginning and completion of each stage. Such timing may be modified by the City on the showing of good cause by the developer.
 3. The land owner or developer shall make such easements, covenants, and other arrangements and shall furnish such performance bond or bonds as may be determined by the City to be reasonably required to assure performance in accordance with the plan and to protect the public.
- ☒ Streets, Utilities, Services and Public Facilities: The uniqueness of each proposal for a P.U.D. may allow specifications and standards for streets, utilities and services to be subject to minor modifications of the specifications and standards established in this and other City ordinances governing their construction. The City may, therefore, waive or modify the specifications or standards where it is found that they are not required in the interests of the residents of the P.U.D. or of the City. The plans and profiles of all streets, utilities and services shall be reviewed, modified if necessary, and approved by the City prior to the final approval of the P.U.D. All P.U.D.'s shall be served by public or community water and sewer systems.
- ☒ Open Space Provision: At least ten (10%) percent of the total P.U.D. area shall be set aside for public and/or private open space and recreational use in the manner required by the City Subdivision Ordinance. The City shall determine what portion of the ten (10%) percent, if any, shall be private. In no case shall less than five (5%) percent of the total P.U.D. area be dedicated for public use or no less than five (5%) percent of the assessed value of the land prior to its development be paid as fee-in-lieu-of the public land dedication.
- ☒ Operating and Maintenance Requirements for Planned Unit Development Common Facilities: In the event that certain land areas or structures are provided within the Planned Unit Development for private recreational use or as service facilities, the owner of such land and buildings shall enter into an agreement with the City to assure the continued standard. These common areas may be placed under the ownership of one of the following, depending which is more appropriate:
 1. Dedicated to public where a community-wide use would be anticipated.
 2. Landlord control.
 3. Landowners association, provided all of the following conditions are met:
 - (a) The landowners association must be established prior to any sale.
 - (b) Membership must be mandatory for each owner and any successive buyer.
 - (c) The open space restrictions must be permanent, not for a given period of years.

- (d) The association must be responsible for liability insurance and the maintenance of recreational, service, and other facilities as deemed necessary by the City.
- (e) Landowners must pay their pro rate share of the cost and the assessment levied by the association that can become a lien on the property in accordance with Wyoming Statutes.
- (f) The association must be able to adjust the assessment to meet changed needs.

☒ Building Height and Setbacks: In general, a building's setback from property adjacent to a Planned Unit District site shall approximate its height.

☒ Landscaping: Landscaping and/or fencing shall be provided according to a plan approved by the City and shall include a detailed planting list with sizes indicated.

☒ Utilities: All utilities, including electricity and telephone, shall be installed underground.

E. INSTRUCTIONS FOR FILING / SUBMITTAL CHECKLIST:

This checklist must be completed and submitted as part of the Planned Unit Development Concept Plan Application. All items as listed within this checklist shall be submitted with the Planned Unit Development Concept Plan Application. Any missing items shall constitute an INCOMPLETE application. INCOMPLETE applications will be returned and will NOT be reviewed by the City of Rock Springs until a COMPLETE application is submitted.

☒ \$50.00 Filing fee

☒ Completed PUD Concept Plan Application Form.

☒ Legal description and location map of the property included in the Concept Plan. If the legal description is lengthy, please provide on disk in Word format or email to city_planner@rswy.net

☒ 5 – Full-size Concept Plan drawings drawn to scale (folded)

☒ 1 - 11x17 Concept Plan drawing drawn to scale (if full-size drawing is larger than 11x17)

☒ 1 – PDF scanned at full-size of Concept Plan drawing (submitted electronically to city_planner@rswy.net)


F. SUBMITTAL DEADLINES:

NOTE: Applications that are not received by **Noon** on the Application Deadline will be postponed until the following month's meeting. If a deadline falls near a City holiday, please contact the Planning Department to verify the days City Hall will be closed to ensure that your application is submitted on time.

	January Meeting	February Meeting	March Meeting	April Meeting	May Meeting	June Meeting	July Meeting	August Meeting	September Meeting	October Meeting	November Meeting	December Meeting
Submittal Deadline	12/28/2021	1/24/2022	2/21/2022	3/28/2022	4/25/2022	5/23/2022	6/27/2022	7/25/2022	8/29/2022	9/26/2022	10/24/2022	11/28/2022
Review of Completeness	Within three (3) working days after the submittal, the planning Department shall review the application for conformance with the PUD Concept Plan submittal requirements. If the application does not conform to the submittal requirements, the application will be deemed as incomplete, the applicant will be notified, and the application will be returned.											
Utility Review Comments and/or Meeting *	Utility Review Meetings are held <u>at least</u> 7 days after application submittal. Utility Review Meetings are generally held on Tuesday afternoons and are scheduled in the order in which applications are submitted. A memo will <u>only</u> be sent to the parties listed on the application so be sure to provide all addresses of whom you would like to be invited to the meeting. It is required that the petitioner or an assigned representative attend the meeting. SEE NOTE BELOW.											
P&Z Public Meeting	1/12/2022	2/9/2022	3/9/2022	4/13/2022	5/11/2022	6/8/2022	7/13/2022	8/10/2022	9/14/2022	10/12/2022	11/9/2022	12/14/2022

G. SIGNATURE(S) REQUIRED:

I acknowledge that I have read and understand this application and the pertinent regulations (Section 13-906.C. of the Ordinances of the City of Rock Springs). I certify that the information provided with this application is true and correct. I further certify that I understand that any missing items shall constitute an INCOMPLETE application and that INCOMPLETE applications will be returned and will NOT be reviewed by the City of Rock Springs until a complete application is submitted.

Signature of Petitioner  Date 5/19/22

Signature of Owner  Date 5/23/22

Signature of Engineer  Date 5/23/22

EXHIBIT C

COMMENT FORMS



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 11, 2022
Project #:	PZ-22-00192
Project Name:	Aspen Mountain Medical Center Subdivision
Address/Location:	4401 College Drive
Description:	Creating Lot 2, through the Minor Subdivison process to construct a Medical Office Building.



If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I _____ (name) have reviewed the plans on behalf of _____
(Dept./Organization) for the above-referenced project.

Email: _____ Phone #: _____

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Signature of Reviewer

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

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Date:	May 11, 2022
Project #:	PZ-22-00192
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If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Nichole Jensen (name) have reviewed the plans on behalf of Tesoro Logistics Northwest Pipeline LLC (Dept./Organization) for the above-referenced project.

Email: ndjensen@marathonpetroleum.com Phone #: 307-922-2218

Please check as applicable:

- ☒ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Nichole Jensen

Signature of Reviewer

5/11/2022

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 11, 2022
Project #:	PZ-22-00192
Project Name:	Aspen Mountain Medical Center Subdivision
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I Toni O'Brien (name) have reviewed the plans on behalf of Kinder Morgan
(Dept./Organization) for the above-referenced project.

Email: Toni_O'Brien@kindermorgan.com Phone #: 719-329-5862

Please check as applicable:

- ☒ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

Kinder Morgan does not have assets in the project's described location.

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Toni O'Brien, 48888

Signature of Reviewer

Digitally signed by Toni O'Brien, 48888
DN: cn=Toni O'Brien, 48888, o=Agent Sr, 1 Right of Way, Kinder Morgan, ou,
email=Toni_O'Brien@kindermorgan.com, c=US
Date: 2022.05.11 14:26:39 -0500

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 11, 2022
Project #:	PZ-22-00192
Project Name:	Aspen Mountain Medical Center Subdivision
Address/Location:	4401 College Drive
Description:	Creating Lot 2, through the Minor Subdivision process to construct a Medical Office Building.



If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Vince Lopez (name) have reviewed the plans on behalf of Dominion Energy (Dept./Organization) for the above-referenced project.

Email: _____ Phone #: 307-371-7166

Please check as applicable:

- ☐ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

- ☐ Other Comments/Issues (attach separate sheet if necessary):

Need to know gas location
pue, ROW,

Min 3 Ft away from power

Call Josh when ready for gas install 307-708-0860

- ☐ Please provide me with a copy of the Revised Plans for review.

Vince Lopez
Signature of Reviewer

May 17, 22
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 11, 2022
Project #:	PZ-22-00192
Project Name:	Aspen Mountain Medical Center Subdivision
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If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Josh Sargent (name) have reviewed the plans on behalf of Dominion Energy
(Dept./Organization) for the above-referenced project.

Email: joshua.sargent@dominionenergy.com Phone #: 307-708-0860

Please check as applicable:

☒ No issues - plans approved as submitted.

☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

We do have a service that is feeding the existing building but the proposed should not affect that, thanks

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Joshua Sargent
Signature of Reviewer

5-12-22

Date



BRS, Inc.

1130 Major Ave.

Riverton, WY 82501

E-Mail: brs@brsengineering.com

307-857-3079 Fax: 307-857-3080

**City of Rock Springs, Wyoming
Utility Review
Wyoming Abandoned Mine Lands**

To: Utility Review Committee

From: Ryan Reed, BRS Inc., P.E.

Date: 5/13/2022

Project #: PZ-22-00192

Project Address: 4401 College Drive


I, Ryan Reed, have reviewed the Project location(s) in relation to potential for abandoned mine subsidence and determined:

- ☐ Property is undermined by abandoned mine workings at an approximate depth of _____
- ☐ Property is adjacent to abandoned mine workings at an approximate depth of _____
- ☒ Property is not impacted by any known abandoned mine workings.

Based upon potential for abandoned mine subsidence:

- ☐ It is Recommended that Remediation efforts be made at the Project location(s).
- ☐ It is Recommended that Exploratory Drilling be completed at the Project location(s).
- ☒ No Remediation Action is Recommended at this time.

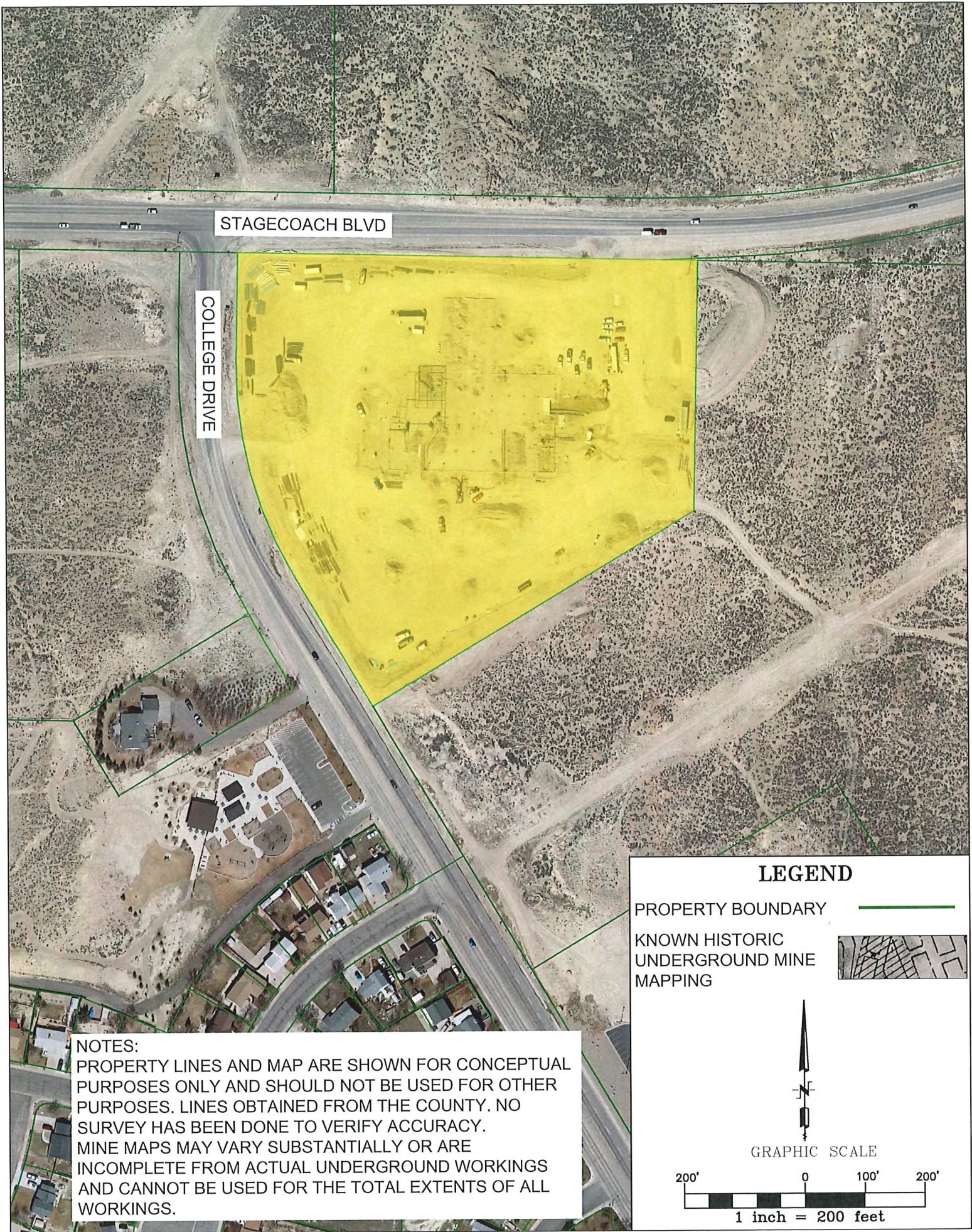
Other Comments/Issues:



Signature

5/13/22

Date



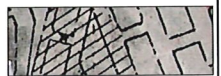
STAGECOACH BLVD

COLLEGE DRIVE

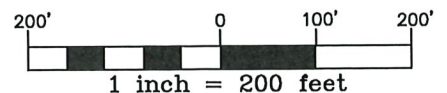
LEGEND

PROPERTY BOUNDARY

KNOWN HISTORIC
UNDERGROUND MINE
MAPPING



GRAPHIC SCALE



NOTES:
PROPERTY LINES AND MAP ARE SHOWN FOR CONCEPTUAL
PURPOSES ONLY AND SHOULD NOT BE USED FOR OTHER
PURPOSES. LINES OBTAINED FROM THE COUNTY. NO
SURVEY HAS BEEN DONE TO VERIFY ACCURACY.
MINE MAPS MAY VARY SUBSTANTIALLY OR ARE
INCOMPLETE FROM ACTUAL UNDERGROUND WORKINGS
AND CANNOT BE USED FOR THE TOTAL EXTENTS OF ALL
WORKINGS.



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

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From:	Cathy Greene
Date:	May 11, 2022
Project #:	PZ-22-00192
Project Name:	Aspen Mountain Medical Center Subdivision
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If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Christy Austin (name) have reviewed the plans on behalf of Rocky Mountain Power (Dept./Organization) for the above-referenced project.

Email: Christy.austin@pacifiCorp.com Phone #: 307-352-5214

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

there is no power on this side of the property.
need to figure out a route for power ~~across the road~~ ~~from the~~
unless you're feeding it from existing building.
Separate service will require a conversation.

☐ Please provide me with a copy of the Revised Plans for review.

[Signature]
Signature of Reviewer

5/17/2022
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 11, 2022
Project #:	PZ-22-00192
Project Name:	Aspen Mountain Medical Center Subdivision
Address/Location:	4401 College Drive
Description:	Creating Lot 2, through the Minor Subdivison process to construct a Medical Office Building.



If you cannot attend the meeting, please submit this comment sheet **prior** to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Meghan Jackson (name) have reviewed the plans on behalf of Engineeing Dept.
(Dept./Organization) for the above-referenced project.

Email: meghan_jackson@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

1. By final plat, provide construction drawings for all public improvements.
2. The retention/detention areas will be cleaned to design capacity, by subdivision acceptance.

☒ Please provide me with a copy of the Revised Plans for review.

Signature of Reviewer

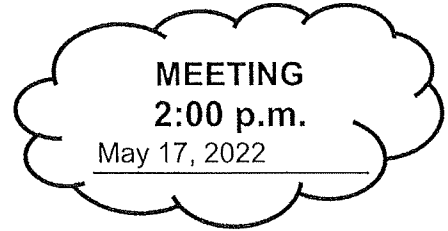
5/17/2022
Date



Department of Public Services/Planning
212 'D' Street, Rock Springs, WY 82901
Tel: 307-352-1540
Cathy Greene, City Planner
Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To: Utility Review Committee
From: Cathy Greene
Date: May 11, 2022
Project #: PZ-22-00192
Project Name: Aspen Mountain Medical Center Subdivision
Address/Location: 4401 College Drive
Description: Creating Lot 2, through the Minor Subdivision process to construct a Medical Office Building.



If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Michael Tardoni (name) have reviewed the plans on behalf of JPWB
(Dept./Organization) for the above-referenced project.

Email: mtardoni@jpwb.org Phone #: 307-875-4317

Please check as applicable:

- ☐ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

All changes to water works will be per JPWB and the City of Rock Springs policies and procedures.

Please note: additional valving will be required for reliability and maintenance reasons.

☐ Please provide me with a copy of the Revised Plans for review.

Michael Tardoni
Signature of Reviewer

5-17-22
Date



CITY OF ROCK SPRINGS, WYOMING UTILITY REVIEW COMMITTEE ATTENDANCE & COMMENTS

Project: <u>Aspen Mountain Medical Ctr POD/Sub-</u>	Project # <u>P2-22-00212</u>
Meeting Date: <u>5-31-22</u>	Comment Due Date: <u>5-31-22</u>
Date Forwarded: _____	

CITY PLANNING/ZONING			
Cathy Greene (City Planner)	cathy_greene@rswy.net / 307.352.1540	<input checked="" type="checkbox"/> Attendance	<input checked="" type="checkbox"/> Comment Form Attached
		<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
CITY - BUILDING			
Jeff Tuttle (Building) <i>Mat Bider</i>	jeff_tuttle@rswy.net / 307.352.1540	<input checked="" type="checkbox"/> Attendance	<input checked="" type="checkbox"/> Comment Form Attached
CITY - ENGINEERING			
Meghan Jackson (Engineering)	meghan_jackson@rswy.net / 307.352.1540	<input checked="" type="checkbox"/> Attendance	<input checked="" type="checkbox"/> Comment Form Attached
Ryan Schmidt (Engineering)	ryan_schmidt@rswy.net / 307.352.1540	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
CITY - FIRE			
Jim Wamsley (Fire Chief)	jim_wamsley@rswy.net / 307.352.1475	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Nathan Reese (Fire Inspector)	nathan_reese@rswy.net / 307.352.1484	<input checked="" type="checkbox"/> Attendance	<input checked="" type="checkbox"/> Comment Form Attached
CITY - WATER			
Clint Zambai (Water)	clint_zambai@rswy.net / 307.352.1405	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
CITY - WRF			
Nick Seals (Water Reclamation)	nick_seals@rswy.net / 307.352.1466	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Justin Stewart (Water Reclamation)	justin_stewart@rswy.net / 307.352.1466	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
CITY - P&R			
Mark Lyon (Parks)	mark_lyon@rswy.net / 307.352.1400	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Dave Lansang (Parks & Rec)	dave_lansang@rswy.net / 307.352.1440	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
CITY - POLICE			
Dwane Pacheco (Police Chief)	dwane_pacheco@rswy.net / 307.352.1575	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
URBAN RENEWAL AGENCY			
Chad Banks	chad_banks@rswy.net / 307.352.1434	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
OTHER CITY REPRESENTATIVES			
		<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
		<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
		<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
		<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
		<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached

Project: _____	Project # _____
----------------	-----------------

ALLWEST COMMUNICATIONS			
Marty Carollo	marty.carollo@allwest.com / 307.870.2338 <i>Jed Newark</i>	<input type="checkbox"/> Attendance	<input checked="" type="checkbox"/> Comment Form Attached
Brian Jackson	brian.jackson@allwest.com / 307.362.3773	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
CENTURYLINK			
Colin Jahnke	colin.p.jahnke@centurylink.com / 307.771.6332	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
DOMINION ENERGY			
Josh Sargent	joshua.sargent@dominionenergy.com / 307.352.7780	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Todd Redmon	todd.redmon@dominionenergy.com / 307.352.7780	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
JOINT POWERS WATER BOARD			
Bryan Seppie	bseppie@jpwb.org / 307.362.4104	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Michael Tardoni	mtardoni@jpwb.org 307.350.1969	<input checked="" type="checkbox"/> Attendance	<input checked="" type="checkbox"/> Comment Form Attached
KINDER MORGAN			
Toni O'Brien	Toni_O'Brien@kindermorgan.com / 719-329-5862	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
MARATHON PETROLEUM			
Nichole Jensen	ndjensen@marathonpetroleum.com / 307-871-3839	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
PHILLIPS 66			
Jared Larson	Jared.D.Larson@p66.com / 303-376-4384	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Kim Robinson	Kim.M.Robinson@p66.com / 307-362-7541	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
ROCKY MOUNTAIN POWER			
Christy Austin	christy.austin@pacificorp.com / 307.352.5213	<input checked="" type="checkbox"/> Attendance	<input checked="" type="checkbox"/> Comment Form Attached
Dean Long	dean.long@pacificorp.com / 307.352.5207	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
SWEETWATER COUNTY			
Sara Geffre (Health)	geffres@sweet.wy.us / 307.872.3930	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Gene Legerski (Public Works)	legerskig@sweet.wy.us / 307.872.3921	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Eric Bingham (Land Use)	binghame@sweet.wy.us / 307.872.3916	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Megann Toomer (GIS/Planning)	toomerm@sweet.wy.us / 307.872.3924	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Dan Selleroli (School District #1)	sellerolid@sw1.k12.wy.us / 307.352.3400	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
WYO ABANDONED MINE LANDS			
Rob Gerrard	rob.gerrard@westernegi.com / 307.705.8104	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Doug Beahm	dbeahm@brsengineering.com / 307.705.8104	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
Ryan Reed	rreed@brsengineering.com / 307.705.8104	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached
WYO DEPT. OF TRANSPORTATION			
Darin Kaufman	darin.kaufman@wyo.gov / 307.352.3034	<input type="checkbox"/> Attendance	<input type="checkbox"/> Comment Form Attached



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 24, 2022
Project #:	PZ-22-00212
Project Name:	Aspen Mountain Medical Center Subdivision PUD Concept
Address/Location:	4401 College Drive
Description:	Request for a PUD Concept Plan review to construct a MOB with separate ownership.



If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Christy Austin (name) have reviewed the plans on behalf of Rocky Mtn Power (Dept./Organization) for the above-referenced project.

Email: Christy.austin@pacificorp.com Phone #: 307-352-5213

Please check as applicable:

- ☐ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

When you have final plans please send to me so we can plan logistics for power

☐ Please provide me with a copy of the Revised Plans for review.

Signature of Reviewer

5/31/22
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

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I CHRISTINE TARDONZ (name) have reviewed the plans on behalf of JPUB.
(Dept./Organization) for the above-referenced project.

Email: MTARDONZ@JPUB.ORG Phone #: 307-875-4817

Please check as applicable:

274

☐ No issues - plans approved as submitted.

☒ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

WHAT EXACTLY IS BEING FN?

☐ Other Comments/Issues (attach separate sheet if necessary):

☒ Please provide me with a copy of the Revised Plans for review.

Signature of Reviewer

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 24, 2022
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MEETING
2:00 p.m.
May 31, 2022

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I Nathan Reese (name) have reviewed the plans on behalf of Rock Springs Fire Department (Dept./Organization) for the above-referenced project.

Email: nathan_reese@rswy.net Phone #: 307-352-1484

Please check as applicable:

- ☒ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Nathan Reese
Signature of Reviewer

5/31/2022
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 24, 2022
Project #:	PZ-22-00212
Project Name:	Aspen Mountain Medical Center Subdivision PUD Concept
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I Meghan Jackson (name) have reviewed the plans on behalf of Engineering Dept.
(Dept./Organization) for the above-referenced project.

Email: meghan_jackson@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☒ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):
1. All pervious comments apply.

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Signature of Reviewer

5/31/2022
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 24, 2022
Project #:	PZ-22-00212
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MEETING
2:00 p.m.
May 31, 2022

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I Matt Bider (name) have reviewed the plans on behalf of Building Inspections (Dept./Organization) for the above-referenced project.

Email: matt-bider@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☐ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

Jurisdiction of project will be determined by Wyoming department of Health if they decline jurisdiction based on scope of work the city of Rock Springs will have full jurisdiction with the 2021 I codes & 2020 NEC. Electrical Jurisdiction is the cities either way. Plan Review will be done once full plans are submitted & fees paid, permit will be issued once compliance is verified.

☐ Please provide me with a copy of the Revised Plans for review.

Signature of Reviewer

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 24, 2022
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MEETING
2:00 p.m.
May 31, 2022

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I Cathy Greene (name) have reviewed the plans on behalf of Planning and Zoning
(Dept./Organization) for the above-referenced project.

Email: cathy_greene@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

See attached review notes.

☐ Please provide me with a copy of the Revised Plans for review.

Cathy Greene
Signature of Reviewer

5/30/22
Date

13-812 PUD - Overlay Zone

B.1 Ownership - make sure applicant / atty's are aware of this

B.5. Setbacks - 35' or height of Bldg

B.10. Staging of Dev.

a. (Phases) Stages - details

b. Stages - timeline

c. landowner/dev - easements, covenants

B.12. Open Space - 10% dedicated

- no less than 5% or 5% fees in lieu of

B.13. - Operating + Maint. PUD Common Facilities options a, b, c -

B.15 - Landscaping ~

B.16 - Utilities - shall be underground

13-906 Procedure For PUD

C. Concept Plan → UR → P-Z → Council if requested exceptions/variances to the ordinance it is willing to allow in exchange for design / planning features - private utilities / ^{setbacks} streets

D - Preliminary Plat / Development Plan

D.1.i - Prelim Plat w/ Dev Plan if land sub: is proposed -

E. Final Dev. Plan / Final Plat Sheet 1 of 2.
Final Dev Plan + Final Plat referencing Final Dev. Plan - Both to be recorded.



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 24, 2022
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May 31, 2022

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I Mary Carroll (name) have reviewed the plans on behalf of All West Communications
(Dept./Organization) for the above-referenced project.

Email: mary.carroll@allwest.com Phone #: 307 870 2338

Please check as applicable:

- ☒ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

Will want to see electrical (RMP) plans for serving
new buildings and have telecom easements in place

☐ Please provide me with a copy of the Revised Plans for review.

Mary Carroll
Signature of Reviewer

5-26-22
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 24, 2022
Project #:	PZ-22-00212
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MEETING
2:00 p.m.
May 31, 2022

If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Jed Nowak (name) have reviewed the plans on behalf of All West Communications
(Dept./Organization) for the above-referenced project.

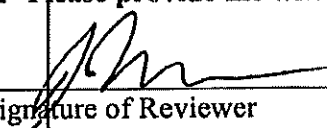
Email: jed.nowak@allwest.com Phone #: 360-640-5216

Please check as applicable:

- ☒ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.



Signature of Reviewer

5/27/22

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

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I Clint Zambai (name) have reviewed the plans on behalf of RS Water Dept.
(Dept./Organization) for the above-referenced project.

Email: clint_zambai@rswy.net Phone #: 307-352-1405

Please check as applicable:

- ☒ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

All water must go through the existing meters.
Plans will need to be approved by the WYDEQ.

☐ Please provide me with a copy of the Revised Plans for review.

Clint Zambai
Signature of Reviewer

6/1/2022
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene
Date:	May 24, 2022
Project #:	PZ-22-00212
Project Name:	Aspen Mountain Medical Center Subdivision PUD Concept
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MEETING
2:00 p.m.
May 31, 2022

If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Justin Stewart (name) have reviewed the plans on behalf of WRF
(Dept./Organization) for the above-referenced project.

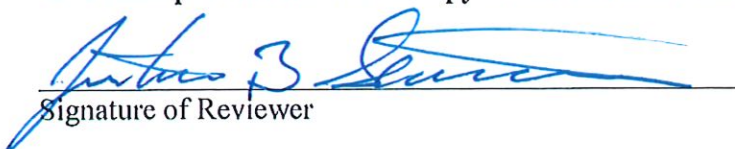
Email: justin_stewart@rswy.net Phone #: 307-352-1466

Please check as applicable:

- ☒ No issues - plans approved as submitted.
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

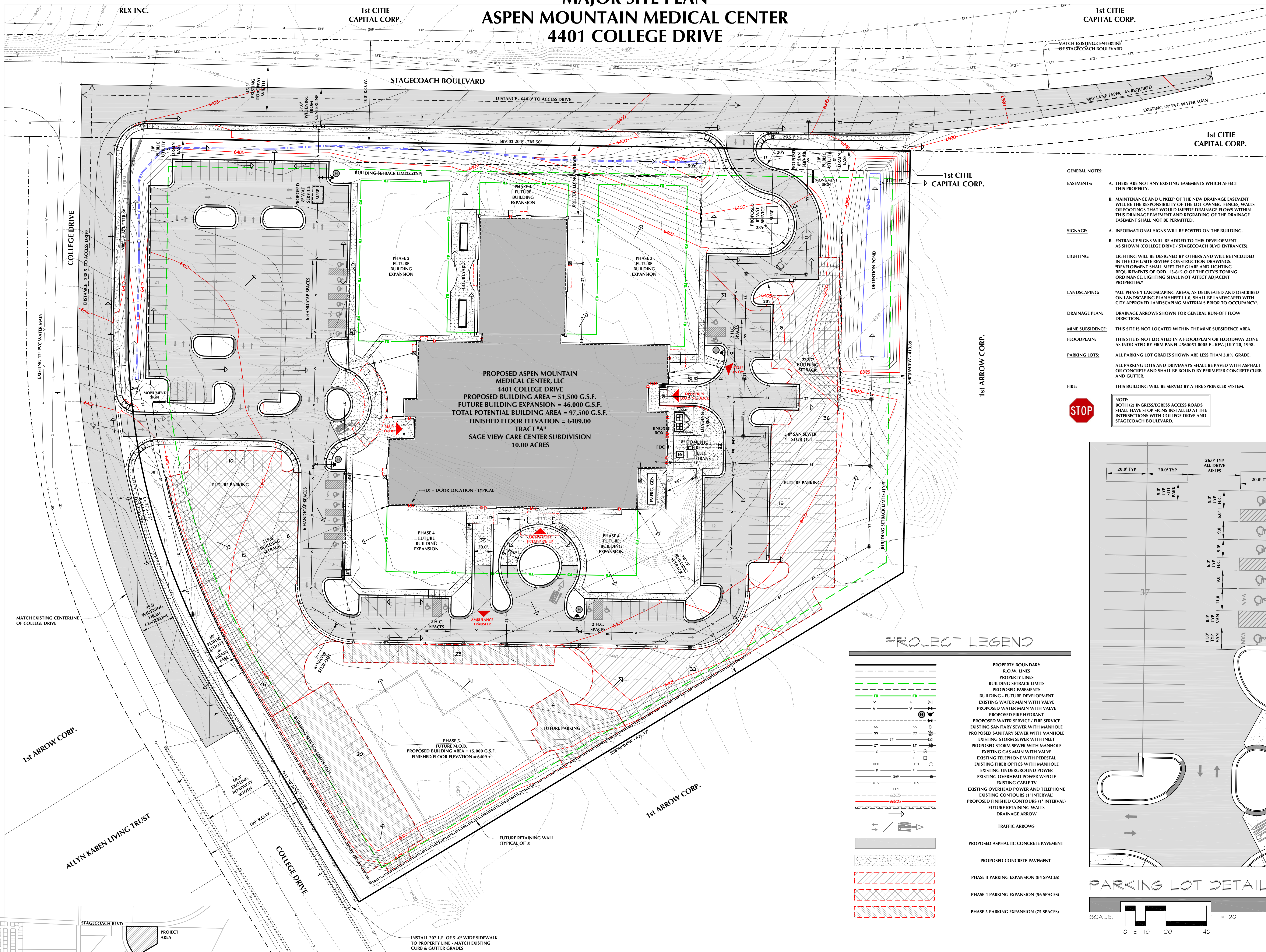

Signature of Reviewer

6/1/22
Date

EXHIBIT D

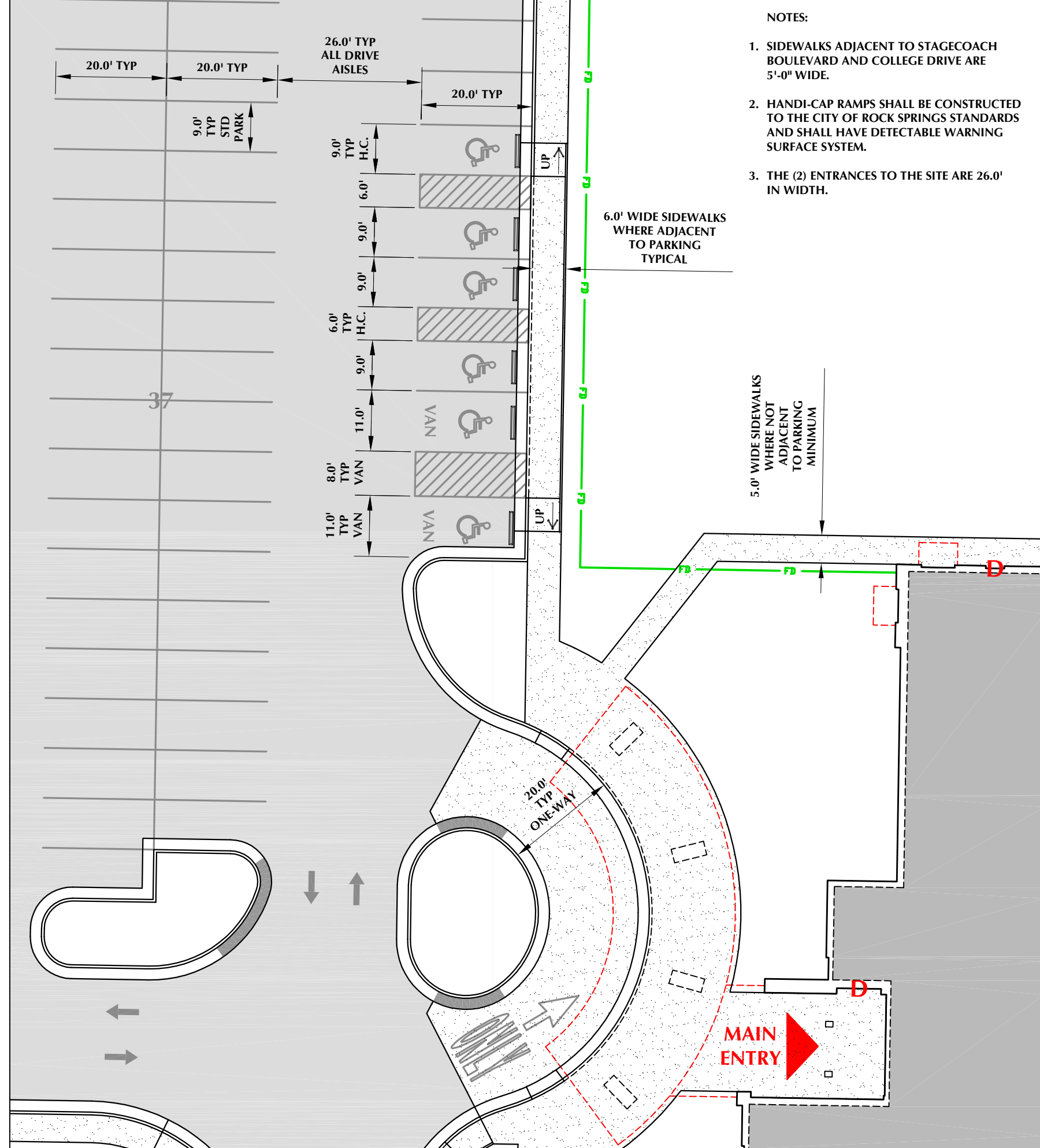
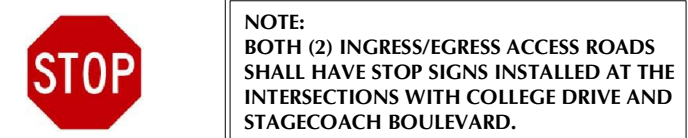
2014 Approved Site Plan

MAJOR SITE PLAN
ASPEN MOUNTAIN MEDICAL CENTER
4401 COLLEGE DRIVE

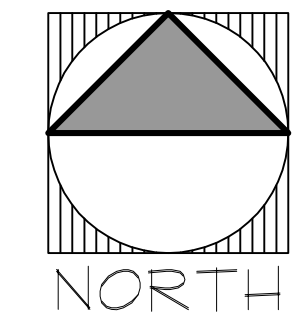
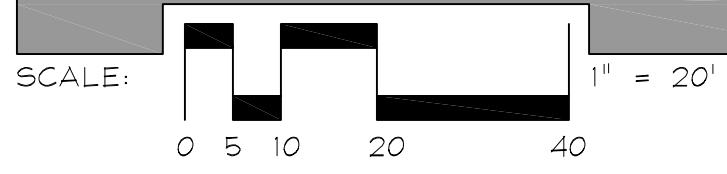


SITE INFORMATION	
ZONE	B-2 & B-2(CD)
SITE AREA	~435,600 SF ~10.00 ACRES
SETBACK REQUIREMENTS	
FRONT	*35'-0"
SIDE	*25'-0" & *15'-0"
REAR	*15'-0"
* ADD 2'-0" TO SETBACKS PER RULE OF 1" ADDITIONAL PER EVERY 3' THAT BLD'G IS OVER 35' MAX HT. = 42'	
PHASE 1 BUILDING AREA	51,500 GSF
PHASE 2 EXPANSION AREA	46,000 GSF
TOTAL POTENTIAL BUILDING AREA	97,500 GSF
M.O.B. AREA	15,000 GSF
PARKING	
REQUIRED FOR ASPEN MOUNTAIN MEDICAL CENTER, LLC: 1.5 STALLS PER 1,000 SF = 1 / 667 S.F. (SF = 10% REDUCTION FROM GSF)	
PROPOSED BUILDING CALCULATIONS: 51,500 GSF X .90 = 46,350 SF 46,350 SF / 667 = 70 STALLS	
FUTURE EXPANSION CALCULATIONS: 46,000 GSF X .90 = 41,400 SF 41,400 SF / 667 = 62 STALLS	
REQUIRED PARKING FOR FUTURE M.O.B.: 1 STALL PER 200 SF (SF = 10% REDUCTION FROM GSF) 15,000 GSF X .90 = 13,500 SF / 200 = 68 STALLS	
TOTAL REQUIRED PARKING FOR FULL BUILD-OUT: 70 + 62 + 68 = 200 TOTAL STALLS	
PROPOSED NUMBER OF STALLS = 188 STALLS - PHASE 1 ADDITIONAL STALLS PROPOSED IN FUTURE EXPANSION & FUTURE M.O.B. = 215 STALLS	
TOTAL NUMBER OF STALLS (PROPOSED, FUTURE EXPANSION & M.O.B.) = 403 STALLS	
STD STALL SIZE: = 9' X 20'	

- GENERAL NOTES:
- EASEMENTS: A. THERE ARE NOT ANY EXISTING EASEMENTS WHICH AFFECT THIS PROPERTY.
- B. MAINTENANCE AND LIMEUP OF THE NEW DRAINAGE EASEMENT WILL BE THE RESPONSIBILITY OF THE LOT OWNER. FENCES, WALLS OR FOOTINGS THAT WOULD IMPED DRAINAGE FLOWS WITHIN THIS DRAINAGE EASEMENT AND REGRADING OF THE DRAINAGE EASEMENT SHALL NOT BE PERMITTED.
- SIGNAGE: A. INFORMATIONAL SIGNS WILL BE POSTED ON THE BUILDING.
- B. ENTRANCE SIGNS WILL BE ADDED TO THIS DEVELOPMENT AS SHOWN (COLLEGE DRIVE / STAGECOACH BLVD ENTRANCES).
- LIGHTING: LIGHTING WILL BE DESIGNED BY OTHERS AND WILL BE INCLUDED IN THE CIVIL/SITE REVIEW CONSTRUCTION DRAWINGS. DEVELOPMENT SHALL MEET THE GLARE AND LIGHTING REQUIREMENTS OF ORD. 11.01.15.0 OF THE CITY'S ZONING ORDINANCE. LIGHTING SHALL NOT AFFECT ADJACENT PROPERTIES.
- LANDSCAPING: *ALL PHASE 1 LANDSCAPING AREAS, AS DELINEATED AND DESCRIBED ON LANDSCAPING PLAN SHEET L1.0, SHALL BE LANDSCAPED WITH CITY APPROVED LANDSCAPING MATERIALS PRIOR TO OCCUPANCY.
- DRAINAGE PLAN: DRAINAGE ARROWS SHOWN FOR GENERAL RUN-OFF FLOW DIRECTION.
- MINE SUBSIDENCE: THIS SITE IS NOT LOCATED WITHIN THE MINE SUBSIDENCE AREA.
- FLOODPLAIN: THIS SITE IS NOT LOCATED IN A FLOODPLAIN OR FLOODWAY ZONE AS INDICATED BY FEMA PANEL (56087) 0001 L. REV. JULY 26, 1996.
- PARKING LOTS: ALL PARKING LOT GRADES SHOWN ARE LESS THAN 3.0% GRADE.
- FIRE: ALL PARKING LOTS AND DRIVEWAYS SHALL BE PAVED WITH ASPHALT OR CONCRETE AND SHALL BE BOUND BY PERIMETER CONCRETE CURB AND GUTTER.
- THIS BUILDING WILL BE SERVED BY A FIRE SPRINKLER SYSTEM.



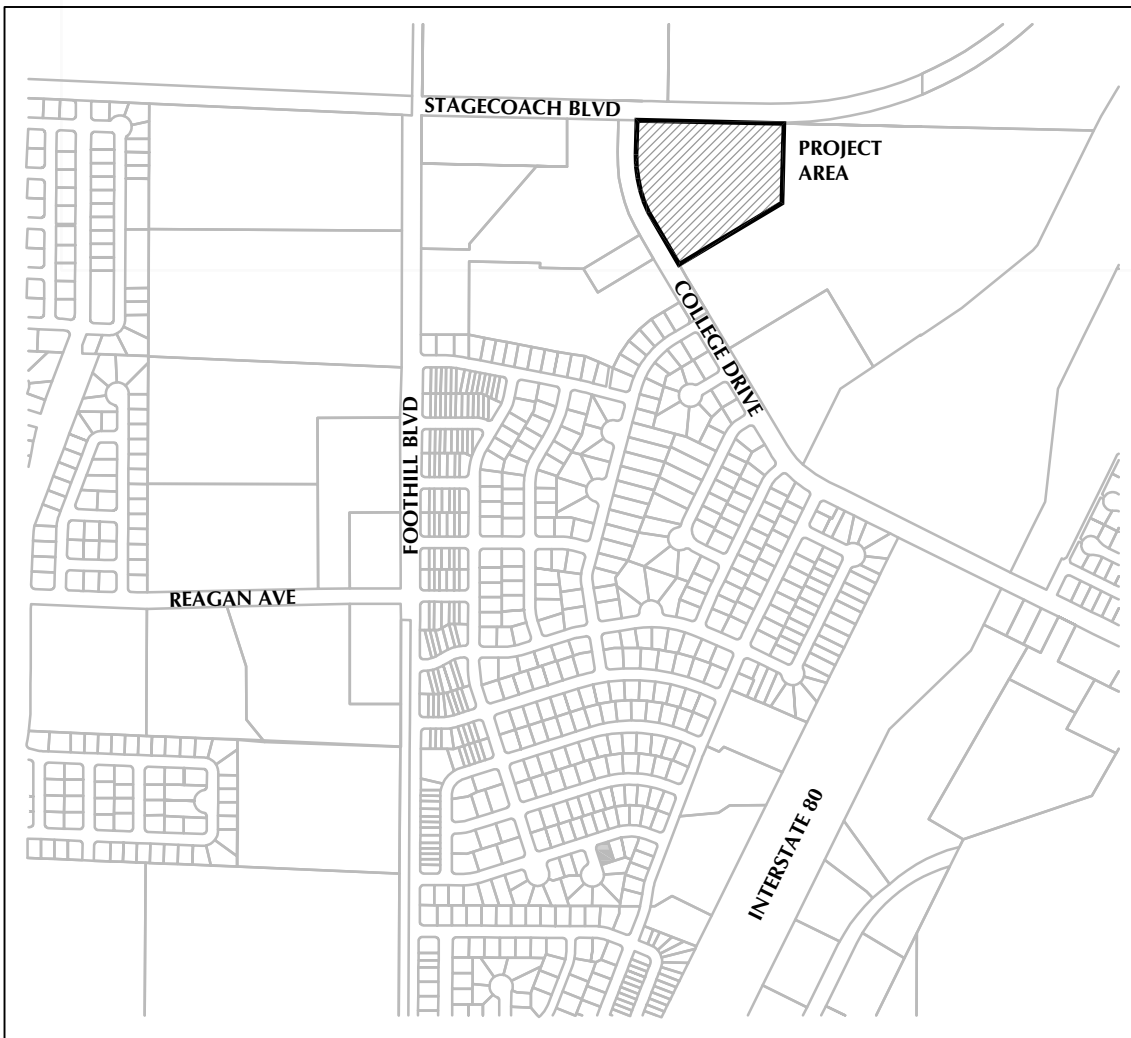
PARKING LOT DETAIL



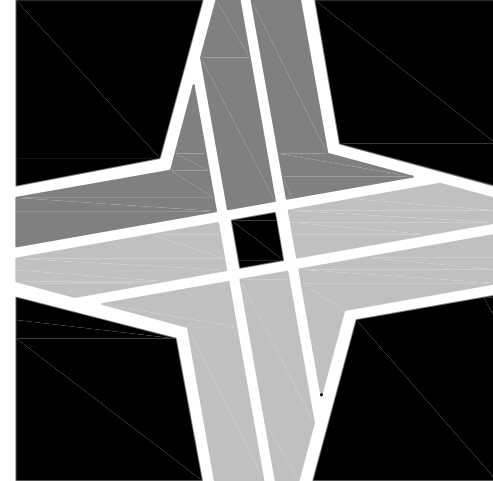
PROPOSED SITE - GENERAL NOTES - PHASE 1	
1. TRACT "A" OF THE FINAL PLAT OF SAGE VIEW CARE CENTER (4401 COLLEGE DRIVE):	435,600 S.F.
2. ZONING:	
ASPHEN MOUNTAIN MEDICAL = (10.00 ACRES)	
CURRENT ZONING IS B2 (COMMUNITY BUSINESS)	
3. BUILDINGS:	
BUILDING NO. 1 LOT COVERAGE =	51,500 S.F.
PERCENTAGE OF LOT COVERED BY BUILDING =	11.82%
4. LANDSCAPING:	
TOTAL LOT COVERED BY LANDSCAPING =	16,000 S.F.
PERCENTAGE OF LOT COVERED BY LANDSCAPING =	3.67%
5. PARKING:	
PARKING - REGULAR PARKING SPACES (9'x20') x 170 SPACES =	30,600 S.F. REQUIRED = 70
PARKING - HANDICAP PARKING SPACES (8'x12') x 18 SPACES =	3,480 S.F. 7.81%
PERCENTAGE OF LOT COVERED BY PARKING =	
6. MISCELLANEOUS:	
DRIVE AISLES, SIDEWALKS, APPURTENANCES, TRASH RECEPTACLES, FUTURE ETC. =	334,100 S.F.
PERCENTAGE OF LOT COVERED BY MISCELLANEOUS =	76.70%
TOTAL AREA =	435,600 S.F.
TOTAL LOT PERCENTAGE =	100.00%

DEVELOPER INFORMATION
NUETERRA PROPERTIES GROUP, LLC
11221 ROE AVE, SUITE 300
LEAWOOD, KS 66211
PHONE: 913-647-6461

OWNER INFORMATION
1ST ARROW, CORP.
6905 SOUTH 1300 EAST, #277
MIDVALE, UT 84047
PHONE: N/A



VICINITY MAP



MARASCO &
ASSOCIATES, INC.
HEALTHCARE ARCHITECTS
AND CONSULTANTS
475 LINCOLN ST., SUITE 150
DENVER, COLORADO 80203
PH. (303) 852-2887
FAX (303) 861-0760

CHOICE ENGINEERING SERVICES

404 "N" Street - Suite 201 | Rock Springs, WY 82901
Phone: 307-362-6065 | Fax: 307-362-6064



THESE DRAWINGS ARE THE SOLE AND EXPRESS PROPERTY OF MARASCO & ASSOCIATES AND ARE FULLY PROTECTED UNDER THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA. ANY USE OF THESE PLANS OTHER THAN THAT AUTHORIZED BY MARASCO & ASSOCIATES IS EXPRESSLY FORBIDDEN. MARASCO & ASSOCIATES IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS WITHIN THESE DRAWINGS DUE TO UNFORESEEN CIRCUMSTANCES, ACTS OF GOD, OWNER REQUESTED CHANGES AFTER CONSTRUCTION HAS STARTED, OR FAILURE OF CONTRACTOR TO REQUEST PERTINENT INFORMATION PRIOR TO START OF CONSTRUCTION. THE USE OF THESE DOCUMENTS CONSTITUTES FULL ACCEPTANCE OF THESE TERMS AND CONDITIONS.

JOB TITLE

ASPEN MOUNTAIN MEDICAL CENTER, LLC

MAJOR SITE PLAN

4401 COLLEGE DRIVE
ROCK SPRINGS, WYOMING

job no. 13-76
date 02/18/14
revision 03/04/14
03/12/14
drawn by Keith Kolar

SHEET TITLE
SITE PLAN

SHEET NUMBER

C1.0



Department of Public Services

212 D Street, Rock Springs, WY 82901
Tel: [307] 352-1540 • FAX [307] 352-1545
www.rswy.net

June 3, 2022

Planning & Zoning Commission
City of Rock Springs
212 D Street
Rock Springs, WY 82901

Re: City Council Action Report

Dear Honorable Commissioners:

Please find a City Council Action Report for the following City Council meeting(s):

Date of Council Meeting	P&Z Item	Council Action
May 17, 2022	Resolution 2022-60 A Resolution amending the “Official Land Use Map” of the Rock Springs Master Plan from Industrial to Low Density Residential for a parcel of land totaling 59.43 acres, located near Springs Drive and Mineral Drive.	<i>Failed</i>
May 17, 2022	Ordinance 2022-07 <i>1st Reading</i> : An Ordinance Amending the “Official Zoning Map” of the City of Rock Springs from Heavy Industrial to Medium Density Residential for a parcel of land totaling 59.43 acres, located near Springs Drive and Mineral Drive	<i>1st Reading</i>
May 17, 2022	Resolution 2022-61 A Resolution amending the “Official Land Use Map” of the Rock Springs Master Plan from High Density Residential to Commercial for a parcel of land totaling 14.470 acres, located near Lombard Drive and Interstate 80.	<i>Passed</i>
May 17, 2022	Ordinance 2022-08 <i>1st Reading</i> : An Ordinance Amending the “Official Zoning Map” of the City of Rock Springs from Medium Density Residential to Community Business District/Conditional District for a parcel of land totaling 14.470 acres, located near Lombard Drive and Interstate 80.	<i>1st Reading</i>
May 17, 2022	2022-63 A Resolution accepting and approving the Final Plat for Estates at Mustang Ridge – Phase I Subdivision, covering a 15.609 acre tract of land near Stagecoach and Foothill Boulevard.	<i>Passed</i>

Sincerely,

Cathy Greene

City Planner