



## **PLANNING AND ZONING COMMISSION MEETING AGENDA**

November 9, 2022

7:00 p.m.

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### ROLL CALL

### APPROVAL OF MINUTES

1. Review and approval of the October 26, 2022, Planning & Zoning Commission Meeting Minutes. [Report Packet Page # 2](#)

### ACCEPTANCE OF STAFF REPORTS AND CORRESPONDENCE

1. Review and acceptance of all staff reports and correspondence into the record.

### PUBLIC HEARINGS

1. Request to amend the Master Plan Land Use Map and amend the Official Zoning Map, filed by 1<sup>st</sup> Arrow Corp (Project # PZ-22-00) – [Report Packet Page # 4](#)

### UNFINISHED BUSINESS

1. None

### NEW BUSINESS

1. Request for a Conditional Use Permit by Zackary Krone, for a Towing & Recovery business in I-2 Zone. (Project #: PZ-22-00419, Staff Representative: Cathy Greene, City Planner) – [Report Packet Page # 30](#)
2. Request for a Conditional Use Permit by YESCO, for a Digital Billboard in the B-2 Zone. (Project #: PZ-22-00425, Staff Representative: Cathy Greene, City Planner) - [Report Packet Page # 53](#)

### NOTIFICATION OF MINOR SITE PLANS AND STAFF APPROVED CONDITIONAL USE PERMITS

1. Attached is a spread sheet containing all project in October 2022 - [Report Packet Page #92](#)

### PETITIONS AND COMMUNICATIONS

1. Written petitions and communications.
  - a. Update on City Council actions – There were none.
2. Petitions and communications from the floor.

### ADJOURNMENT

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**PLANNING AND ZONING  
COMMISSION MINUTES**  
**October 12, 2022**  
**Wednesday, 7:00 p.m.**  
**City Hall, Rock Springs, Wyoming**

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Commissioners Present:	Vice Chairman Cody Wylie Dan Kennedy Zane Isaacson	Blake Manus Emily Lopez Lacey Brown
Staff Present:	Cathy Greene, City Planner	

**CALL TO ORDER**

Vice Chairman Wylie called the meeting to order at 7:00 p.m.

**ROLL CALL**

After roll call it was determined that a quorum was present to proceed.

**APPROVAL OF MINUTES**

Vice Chairman Wylie asked the Commission for any corrections or additions to the Minutes from the September 14, 2022, Planning and Zoning Commission Meeting.

With no corrections or additions, Vice Chairman Wylie asked for a motion to accept the Minutes as presented.

Commissioner Kennedy: Motion to approve the Minutes as presented.

Commissioner Lopez: Second.

Vote: All in favor. Motion carried unanimously

**ACCEPTANCE OF STAFF REPORTS AND CORRESPONDENCE**

Vice Chairman Wylie asked for a motion to accept all correspondence and Staff Reports into the record.

Commissioner Kennedy: Motion to accept all correspondence and Staff Reports into the record.

Commissioner Isaacson: Second.

Vote: All in favor. Motion carried unanimously

**CHANGES TO THE AGENDA**

There were none.

**UNFINISHED BUSINESS**

There were none.

**PUBLIC HEARINGS**

There were none.

**NEW BUSINESS**

There were none.

**NOTIFICATION OF MINOR SITE PLANS /  
STAFF APPROVED CONDITIONAL USE PERMITS**

1. Brad & Kiera Bettolo – Attached Garage Exceeding 3 bays – CUP at 1970 Masters Drive (Project #: PZ-22-00346)
2. Homax Tank Expansion with gravel surface – CUP & Minor Site Plan at 1781 Blairtown Road (Project #: PZ-22-00339)
3. Vanlandingham Special Purpose Fence – CUP at 429 C Street (Project#: PZ-22-00340)
4. Rogue Plumbing LLC – Minor Site Plan – Change of Use at 110 Elk Street (Project #: PZ-22-00319)
5. Walmart Addition – Minor Site Plan at 201 Gateway Blvd (Project #: PZ-22-00317)
6. Boys ‘n Berrys – Minor Site Plan Change of Use at 1539 Foothill Blvd (Project #: PZ-22-00281)

**PETITIONS AND COMMUNICATIONS**

**1) Written petitions and communications.**

**a. Update on City Council Actions in packet**

Date of Council Meeting	P&Z Item	Council Action
August 16, 2022	A request filed by Travis Manus and Craig Knudsen to amend the Master Plan Use Map and the Official Zoning Map of the City of Rock Springs, for property located near Marchant and Thompson Streets (For Resolution #2022-118 and Ordinance #2022-11)	Public Hearing
August 16, 2022	Resolution 2022-118: A Resolution amending the “Official Land Use Map” of the Rock Springs Master Plan from Low Density Residential Density Residential, for property located near Marchant and Thompson Streets.	Approved
August 16, 2022	An Ordinance amending the “Official Zoning Map” of the City of Rock Springs from R-3 (Medium Density Residential) to R-5 (High Density Residential) for property located near Marchant and Thompson Streets	1st Reading

**b. Update on Business Licenses in packet.**

**2) Petitions and communications from the floor. - None**

**ADJOURNMENT**

With no further business, the meeting was adjourned at 7:09 p.m..

Ms. Greene gave an update on proposed language amendments that should come before them this winter.

These minutes approved by the Rock Springs Planning and Zoning Commission by vote this

\_\_\_\_\_ day of \_\_\_\_\_ 2022.

\_\_\_\_\_  
Cathy Greene, Secretary, Planning & Zoning Commission



## Planning & Zoning Commission Staff Report

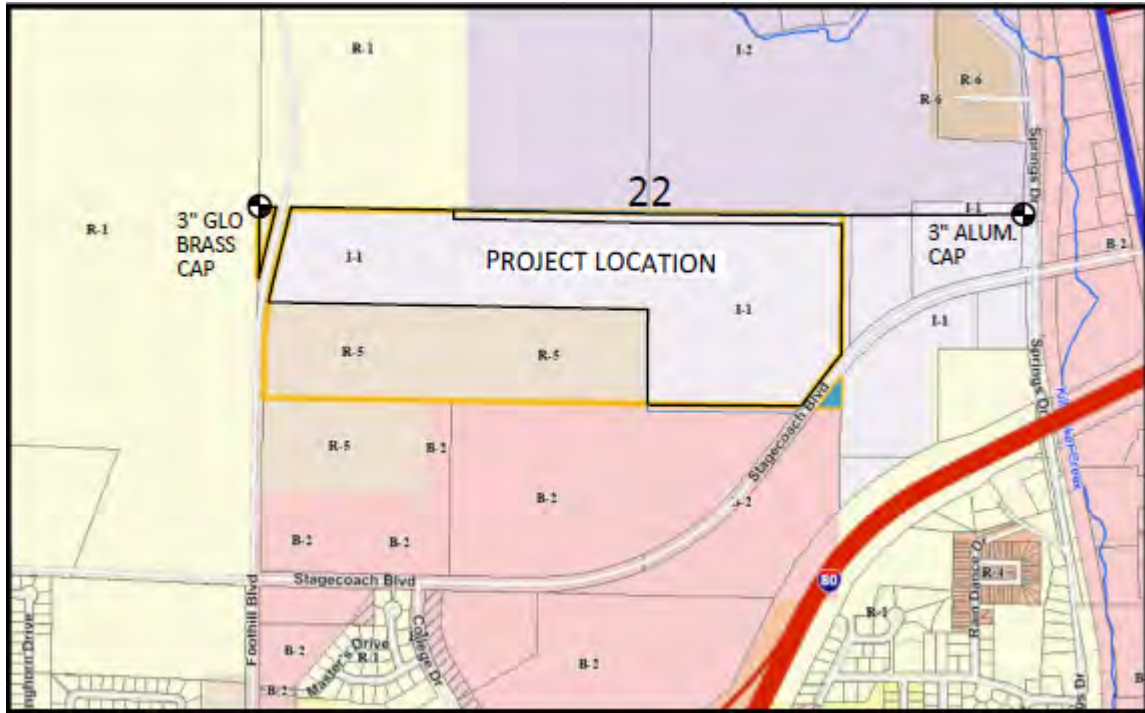
### Meeting: November 9, 2022 at 7:00 p.m.

REPORT SUMMARY			
<b>Agenda Item:</b>	Public Hearing #1	<b>Project Number:</b>	PZ-22-00384
<b>Project Name:</b>	1 <sup>st</sup> Arrow Corp. - Master Land Use Plan Amendment and Zoning Amendment		
<b>Project Location:</b>	78+/- acres located North of Stagecoach and East of Foothill		
<b>Project Description:</b>	Consideration of a Master Land Use Plan Amendment and a Zoning Map Amendment.		
<b>Applicant:</b>	Stephen Thomas 1 <sup>st</sup> Arrow Corp. 6905 S. 1300 E. #277 Midvale, UT 84047	<b>Property Owner:</b>	Stephen Thomas 1 <sup>st</sup> Arrow Corp. 6905 S. 1300 E. #277 Midvale, UT 84047
<b>Engineer:</b>	Eric Harris WHS 1515 9 <sup>th</sup> Street, Ste A Rock Springs, WY 82901	<b>Surveyor:</b>	Theron Weston WHS 1515 9 <sup>th</sup> Street, Ste A Rock Springs, WY 82901
<b>Public Notification:</b>	Adjacent Property Letters Mailed October 28, 2022 Public Hearing Notice Published on Saturday, October 22, 2022		
<b>Current Master Plan Land Use Designation:</b>	<u>Parcel 1:</u> Industrial (I), Commercial (C), & High Density Residential (HDR) <u>Parcel 2:</u> HDR (High Density Residential) <u>Parcel 3:</u> Industrial (I)	<b>Proposed Master Plan Land Use Designation:</b>	<u>Parcel 1:</u> LDR (Low Density Residential) <u>Parcel 2:</u> LDR (Low Density Residential) <u>Parcel 3:</u> No MPA change
<b>Current Zoning District</b>	<u>Parcel 1:</u> I-1 (Light Industrial) <u>Parcel 2:</u> I-1 (Light Industrial) <u>Parcel 3:</u> I-1 (Light Industrial)	<b>Proposed Zoning District</b>	<u>Parcel 1:</u> R-3 (Medium Density Residential) <u>Parcel 2:</u> R-1 (Low Density Residential) <u>Parcel 3:</u> R-3/CD
<b>References:</b>	2012 Master Plan, Section ES.6 Plan Amendments 2012 Master Plan, Table 3.3 2012 Master Plan, Map 3.1 Rock Springs Zoning Ordinance §13-901 Procedure for Amendments Rock Springs Zoning Ordinance §13-909 Parallel Conditional Use District		
<b>Attachments:</b>	A. Application along with Master Plan and Zoning Map Change Boundary B. Master Plan Findings C. Utility Review Comment Sheets from October 19, 2022. D. Adjacent property owners notice & photos of property posting.		



**PETITION:**

Request for a Master Plan Amendment and Zoning Map Amendment application (**Attachment A**) for a 78 +/--acre parcel that lies north of Stagecoach Blvd and mostly east of Foothill Blvd, see **Figure 1**.

**PROPERTY LOCATION AND DESCRIPTION:**

**Figure 1: Location Map**

**ADJACENT LAND USES:**

Also, adjacent land uses are as follows:

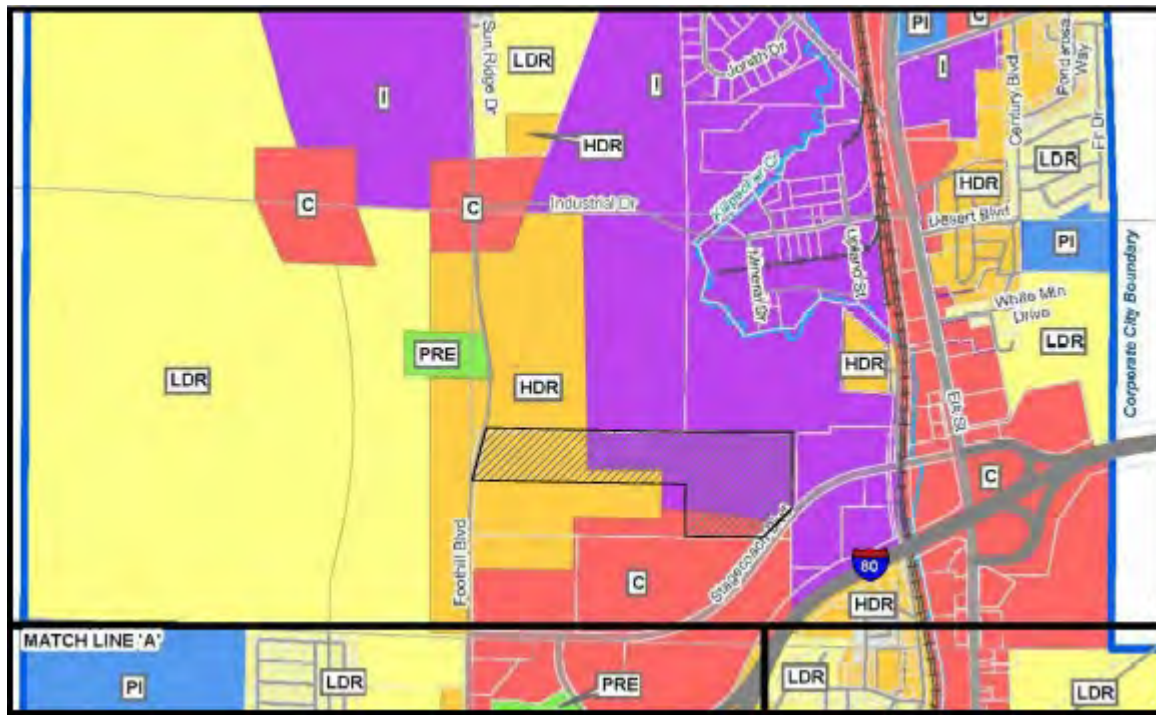
- North – HDR & Industrial/R-5 and I-2 Vacant Land
- East – Industrial/I-1 Vacant Land
- West – HDR/R-1 – Vacant Land
- South – HDR, Commercial, Industrial/R-5 & B-2 Vacant Land

**2012 MASTER PLAN**

The current Rock Springs Land Use Plan was adopted by the Governing Body on May 7, 2013 and is called “The City of Rock Springs 2012 Master Plan: Today’s Plan for Tomorrow’s Future”. When an applicant desires to rezone a property, the first thing staff determines is whether or not the proposed rezoning will comply with the Official Land Use Map of the 2012 Master Plan. As noted in §13-901 of the Rock Springs Zoning Ordinance, the City Council may change the zoning of property within the City for the purpose of meeting the land use needs of the residents of the City in conformance with the City’s Land Use Plan (Master Plan).

As shown in **Figure 2**, the 2012 Master Plan Official Land Use Map shows that this property has three designations as “HDR (High Density Residential), C (Commercial) and I (Industrial)” and the applicant has proposed Parcel 1 and 2 be “LDR –Low Density Residential” land use designation. The requested LDR is defined in the 2012 Master Plan as “low intensity residential development at densities ranging

from 0.5 to 7.0 dwelling units per acre.” (2012 Master Plan, Table 3.3). Compatible zoning districts within the LDR land use designation include R-E, R-1, R-2, and R-3. Parcel 3 to remain as I (Industrial) to conform to the Parallel Conditional Use of the Industrial buffer.



**Figure 2: Master Plan Official Land Use Map**

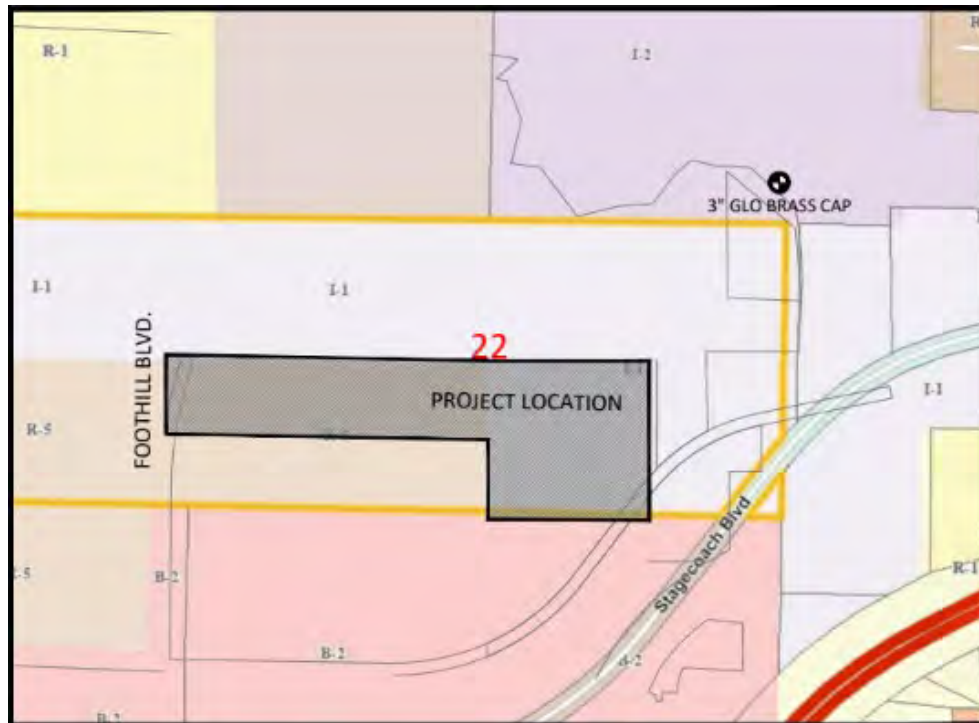
## MASTER PLAN AMENDMENT REVIEW:

As Section ES.6 of the *Master Plan* states, amendments to the plan or accompanying maps may be made from time to time, provided that the following findings can be made, see **Attachment B**:

- (1) The proposed amendment represents an overall improvement to the character of the community and meets the general intent of the plan; and
- (2) The proposed amendment benefits the community at large and not an individual party or parties; and
- (3) The proposed amendment will not cause adverse impacts on the general health, safety and welfare of the community, nor of neighboring residents; and
- (4) The proposed amendment is keeping with the plan’s vision, mission and goals; and
- (5) The proposed amendment is the minimum amendment necessary and is not of such a scope that an extensive update of the plan is required.

## ZONING AMENDMENT

As shown in **Figure 3**, the property is currently zoned I-1 Light Industrial. The applicant is proposing that the property, consisting of 78 +/- acres be rezoned to R-3 Medium Density Residential, R-1 Low Density Residential, and a buffer strip to be zone R-3/CD to server as a buffer to the adjacent land zoned industrial.



**Figure 3: Official Zoning Map**

#### **UTILITY REVIEW:**

This revised application was sent out for our Utility Review Committee to review, comment sheets are attached (**Attachment C**).

#### **NOTIFICATIONS:**

Adjacent property owner notifications were mailed out on October 28, 2022, in which I have heard from one adjacent property owner to confirm the meeting time and place. He was happy to hear that the presenting property owner would be taking on the burden of the buffer. A notice was published in the Rock Miner on October 22, 2022 and the applicant posted the property on October 31, 2022. All notifications can be seen in (**Attachment D**).

#### **PROCEDURE:**

Master Plan text and map amendments shall be made only after first holding a public hearing before the Rock Springs Planning and Zoning Commission followed by a public hearing before the Rock Springs City Council, and shall be handled in the same manner as Zoning Map Amendments (§13-901).

The Planning and Zoning Commission's recommendation (approval, disapproval, or table) will be forwarded to the Rock Springs City Council for consideration at a Public Hearing. Public Hearing notice will once again be published in the Rocket Miner prior to the City Council Public Hearing. After the public hearing, the Master Plan Amendment will be voted on by Resolution. The Zoning Map Amendment will require approval by Ordinance, which requires three (3) ordinance readings.

#### **STAFF RECOMMENDATION:**

Staff will provide a formal recommendation after the public comment portion of the public hearing.

## **Attachment A**

### Application and Master Plan and Zoning Map Change Boundary





**CITY OF ROCK SPRINGS  
MASTER PLAN LAND USE MAP  
AND  
ZONING MAP  
AMENDMENT APPLICATION**

Planning & Zoning Division  
212 D Street  
Rock Springs WY 82901  
307.352.1540 (phone)  
city\_planner@rswy.net

**City Use Only:**

Date Received

9-19-2022

File Number:

P2-22 00384

**A. PROPERTY ADDRESS:** T19N R105W SEC 22 N2N2SW4 NW4SE4 (N2 of lot 12&11 all of lot 10)

**(NOTE: IF THE PROPERTY DOES NOT HAVE AN EXISTING ASSIGNED ADDRESS, LEGAL DOCUMENTATION OF THE LOCATION MUST BE SUBMITTED – i.e. Property Tax ID Number, Legal Description, etc.)**

**B. CONTACT INFORMATION:**

**NOTE: The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.**

**Primary Contact Person (Applicant):**

1st Arrow Corp.

Name

6905 S. 1300 E. #277

Mailing Address

1-801-979-8136

Phone Number

Midvale

City

hetinwyo@gmail.com

Email Address

UT

State

84047

Zip

**Property Owner Information:**

1st Arrow Corp.

Name

6905 S. 1300 E. #277

Mailing Address

1-801-979-8136

Phone Number

Midvale

City

hetinwyo@gmail.com

Email Address

UT

State

84047

Zip

**Engineer Information:**

Eric Harris

Engineer's Name

WHS

Company Name

1515 9th St, STE A

Mailing Address

eharris@whsmithpc.com

Email

307-362-6065

Phone Number

Rock Springs

City

Fax Number

Wy

State

82935

Zip

**Surveyor Information:**

Theron Weston

Surveyor's Name

WHS

Company Name

1515 9th St, STE A

Mailing Address

tweston@whsmithpc.com

Email

307-362-6065

Phone Number

Rock Springs

City

Fax Number

Wy

State

82901

Zip

**C. PLEASE ANSWER THE FOLLOWING (attach a separate sheet if necessary):**

1. Existing Master Plan Land Use Map Designation: See Map - HDR, I, C.
2. Requested Master Plan Land Use Map Designation: See Map - HDR + LDR
3. Existing Zoning Map Designation: I-1
4. Requested Zoning Map Designation: R-3, R-1 + R-3/CD
5. Square footage and/or acreage of property to be rezoned: 78 +/- Acres  
(if amending to multiple plan designations/zoning districts, provide acreage of each proposed new plan designation/zoning district area)
6. Current Use of Land: vacant industrial land
7. Proposed Use of Land: vacant residential land
8. Reason for requested Zoning Map Amendment:

The land owner wants to change the zoning to residential land due to current market conditions and demand. This community currently has many vacant properties that are commercial and industrial and this zone change would better serve the Rock Springs community creating affordable residential housing.

**D. AMENDMENT JUSTIFICATION: SEE ATTACHED**

In order to justify the request, the following statements **MUST** be addressed. Please do so with typewritten text and submit separately as an attachment to this application. The current Rock Springs Master Plan Land Use Map and Zoning Map are available on the Rock Springs website at [www.rswy.net](http://www.rswy.net).

1. The proposed amendment represents an overall improvement to the character of the community and meets the general intent of the plan; and
2. The proposed amendment benefits the community at large and not an individual party or parties; and
3. The proposed amendment will not cause adverse impacts on the general health, safety and welfare of the community, nor of neighboring residents; and
4. The proposed amendment is in keeping with the plan's vision, mission and goals; and
5. The proposed amendment is the minimum amendment necessary and is not of such a scope that an extensive update of the plan is required.

**E. SUBMITTAL REQUIREMENTS:**

**NOTE:** The following items are required for submitting a complete Master Plan Land Use Map and Zoning Map Amendment Application and must be submitted in accordance with the submittal deadlines listed in Section G of this application. Applications submitted after the submittal deadlines as listed will be postponed until the following month.

An incomplete application will **not** be reviewed and will be returned to the petitioner.

- ☒ Filing Fee (\$300.00).
- ☒ A detailed map, drawn to scale, of the property requested for Master Plan amendment and rezoning. If the full-size scaled drawing is on a size larger than 11" x 17", then in addition to the 20 full size copies plus one reduced copy no larger than 11" x 17" must also be submitted. A survey may be required.
- ☒ Legal description of the property provided on a typed sheet attached to this application and also supplied electronically in Word format. The electronic format can be emailed to [city\\_planner@rswy.net](mailto:city_planner@rswy.net). If requesting multiple land use designations and/or zoning district areas, a separate legal description must be included for each area.



#### H. SIGNATURE(S) REQUIRED:

I acknowledge that I have read and understand this application and the pertinent regulations. I further certify that the information provided with this application is true and correct, and false or inaccurate information used by an applicant to secure compliance with the Zoning Ordinance shall be reason to deny or revoke any application or permit. I understand that it is the responsibility of the applicant and/or property owner to secure any and all required Local, Federal and State Permits (i.e. DEQ permits, County Permits, etc.) and I agree to contact those agencies accordingly.

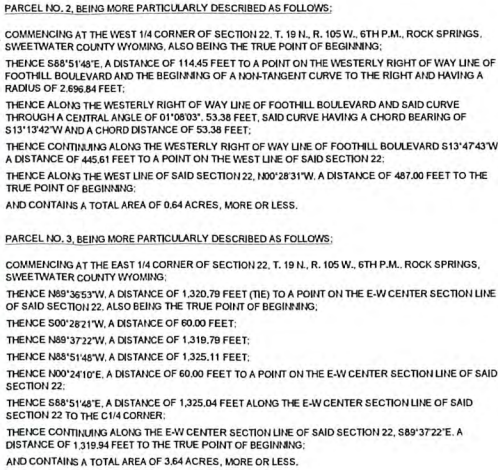
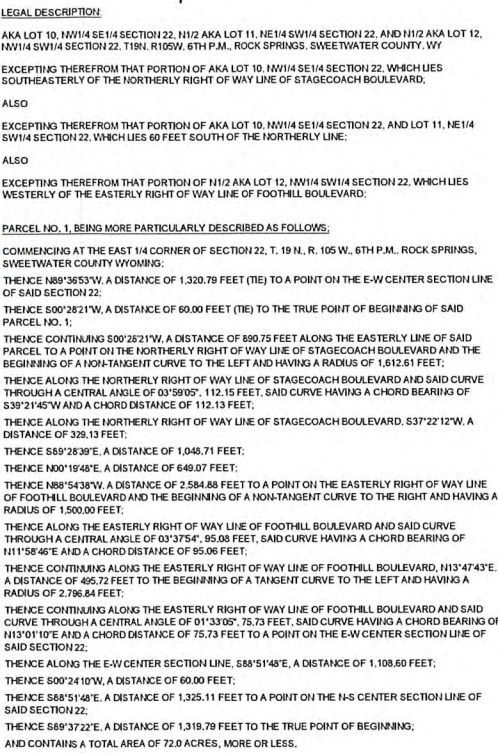
**All petitioners and property owners must sign this application. Attach a separate sheet if necessary.**

Signature of Applicant	<u>Stephen Thomas</u>	Date	<u>19 SEPT. 2022</u>
Signature of Owner	<u>Stephen Thomas</u>	Date	<u>19 Sept. 2022</u>
Signature of Engineer	<u>Shawn M. Oufato</u>	Date	<u>9/19/2022</u>
Signature of Surveyor	<u>Wick</u>	Date	<u>9/19/2022</u>

#### I. CITY COUNCIL ACTION:

Master Plan Use Map Amendments are voted upon by Resolution while Zoning Map Amendments are voted upon by the Governing Body by Ordinance. In regard to the Zoning Map Amendment, if there is a written protest against a change in the zoning classification of a parcel of land, signed by the owners of twenty (20) percent or more of the area of lots included in the proposed change, or of those within a distance of one hundred forty (140) feet, the change shall not be approved except upon the affirmative vote of three-fourths (3/4) of all of the members of the City Council.







## **Attachment B**

### **Master Plan Findings**

## AMENDMENT JUSTIFICATION

1. The proposed amendment represents an overall improvement to the character of the community and meets the general intent of the plan; **and creates a similar balance of residential and commercial property in the adjacent areas while protecting existing commercial and industrial areas.**
2. The proposed amendment benefits the community at large and not an individual party or parties; **and will potentially support the demand for affordable housing in Rock Springs in an area where development is planned for in the 2012 Rock Springs Master Plan.**
3. The proposed amendment will not cause adverse impacts on the general health, safety, and welfare of the community, nor of neighboring residents; **and will meet the goals and enhance the overall balance and intent of the 2012 City of Rock Springs Master Plan.**
4. The proposed amendment is in keeping with the plan's vision, mission, and goals; **and will potentially support the community needs based on the 2012 City of Rock Springs Master Plan including providing supply for the increasing demand of residential housing availability.**
5. The proposed amendment is the minimum amendment necessary and is not of such a scope that an extensive update of the plan is required. **Most of this property proposed for amendment is next to and adjacent to existing R-1, R-5, and B-2 zoning and will stay in line with the overall intent and area of the master plan.**

## **Attachment C**

### Utility Review Comment Sheets



## Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

## UTILITY REVIEW - COMMENT SHEET

To:	Previous Responding Utility Review Committee Members
From:	Cathy Greene, City Planner
Date:	October 19, 2022
Project #:	PZ-22-00384
Project Name:	Resubmission of MPA and Zone Change
Address/Location:	North of Stagecoach, East of Foothill
Description:	Applicant withdrew previous application after September P&Z, resubmitted addressing concerns.

**NO MEETING  
COMMENTS  
ONLY**

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on WED., OCT. 26, 2022. Thank you!

I Christy Austin (name) have reviewed the plans on behalf of Pacific Power (Dept./Organization) for the above-referenced project.

Email: Christy.austin@pacificorp.com Phone #: 307-352-5213

Please check as applicable:

☒ No issues - plans approved as submitted.

☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Signature of Reviewer

10/21/22  
Date

Emailed 10/31/22



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Previous Responding Utility Review Committee Members
From:	Cathy Greene, City Planner
Date:	October 19, 2022
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Project Name:	Resubmission of MPA and Zone Change
Address/Location:	North of Stagecoach, East of Foothill
Description:	Applicant withdrew previous application after September P&Z, resubmitted addressing concerns.



There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on WED., OCT. 26, 2022. Thank you!

I Cathy Greene (name) have reviewed the plans on behalf of Planning & Zoning (Dept./Organization) for the above-referenced project.

Email: cathy\_greene@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Cathy Greene  
Signature of Reviewer

10/25/2022  
Date





Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Previous Responding Utility Review Committee Members
From:	Cathy Greene, City Planner
Date:	October 19, 2022
Project #:	PZ-22-00384
Project Name:	Resubmission of MPA and Zone Change
Address/Location:	North of Stagecoach, East of Foothill
Description:	Applicant withdrew previous application after September P&Z, resubmitted addressing concerns.



There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on WED., OCT. 26, 2022. Thank you!

I Justin Stewart (name) have reviewed the plans on behalf of WRF  
(Dept./Organization) for the above-referenced project.

Email: justin\_stewart@rswy.net Phone #: 307-352-1466

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Justin Stewart

Digitally signed by Justin Stewart  
Date: 2022.10.19 12:24:14 -06'00'

Signature of Reviewer

10/19/2022

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Previous Responding Utility Review Committee Members
From:	Cathy Greene, City Planner
Date:	October 19, 2022
Project #:	PZ-22-00384
Project Name:	Resubmission of MPA and Zone Change
Address/Location:	North of Stagecoach, East of Foothill
Description:	Applicant withdrew previous application after September P&Z, resubmitted addressing concerns.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on WED., OCT. 26, 2022. Thank you!

I Clint Zambai (name) have reviewed the plans on behalf of RS Water Dept.  
(Dept./Organization) for the above-referenced project.

Email: clint\_zambai@rswy.net Phone #: 307-352-1405

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Clint Zambai  
Signature of Reviewer

10/20/2022  
Date





BRS, Inc.

1130 Major Ave.

Riverton, WY 82501

E-Mail: [brs@brsengineering.com](mailto:brs@brsengineering.com)

307-857-3079 Fax: 307-857-3080

**City of Rock Springs, Wyoming  
Utility Review  
Wyoming Abandoned Mine Lands**

To: Utility Review Committee  
From: Ryan Reed, BRS Inc., P.E.  
Date: 10/26/2022  
Project #: PZ-22-00384  
Project Address: Northerly of Stagecoach and Easterly of Foothill Blvd

I, Ryan Reed, have reviewed the Project location(s) in relation to potential for abandoned mine subsidence and determined:

- ☒ Property is undermined by abandoned mine workings at an approximate depth of 250 ft.  
☐ Property is adjacent to abandoned mine workings at an approximate depth of \_\_\_\_\_  
☐ Property is not impacted by any known abandoned mine workings.

Based upon potential for abandoned mine subsidence:

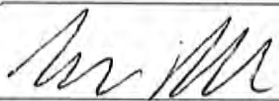
- ☐ It is Recommended that Remediation efforts be made at the Project location(s).  
☒ It is Recommended that Exploratory Drilling be completed at the Project location(s).  
☐ No Remediation Action is Recommended at this time.

Other Comments/Issues:

Union Pacific Coal Co. Rock Springs No. 6 Mine, Rock Springs #6 Coal Seam

Approximate depth of 250 to 500 ft. from easternmost edge to west

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Signature

10/26/22  
Date





FOOTHILL BLVD

STAGECOACH BLVD

STAGECOACH BLVD

### LEGEND

PROPERTY BOUNDARY

KNOWN HISTORIC  
UNDERGROUND MINE  
MAPPING



GRAPHIC SCALE



### NOTES:

PROPERTY LINES AND MAP ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY AND SHOULD NOT BE USED FOR OTHER PURPOSES. LINES OBTAINED FROM THE COUNTY. NO SURVEY HAS BEEN DONE TO VERIFY ACCURACY. MINE MAPS MAY VARY SUBSTANTIALLY OR ARE INCOMPLETE FROM ACTUAL UNDERGROUND WORKINGS AND CANNOT BE USED FOR THE TOTAL EXTENTS OF ALL WORKINGS.





Cathy Greene <cathy\_greene@rswy.net>

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## 1st Arrow Resubmission - UR COMMENT ONLY Due 10/26/2022

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**Jensen, Nichole D.** <NDJensen@marathonpetroleum.com> Wed, Oct 26, 2022 at 2:35 PM  
To: Cathy Greene <cathy\_greene@rswy.net>

Hi Cathy,

Please see the attached comment card, we have no concerns with the plans submitted by 1<sup>st</sup> Arrow Resubmission as it is not near MPL right of way or pipeline. Please let me know if you have any questions.

Thanks,

**Nichole Jensen**

Right-of-Way Specialist

P.O. Box 2819 | 1955 Blairtown Road

Rock Springs, WY 82902

m: 307 922 2218

[NDJensen@marathonpetroleum.com](mailto:NDJensen@marathonpetroleum.com)



[marathonpipeline.com](http://marathonpipeline.com)

[Quoted text hidden]

---

1st Arrow Utility Review Planning Comments Only - NJensen.pdf  
233K



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Previous Responding Utility Review Committee Members
From:	Cathy Greene, City Planner
Date:	October 19, 2022
Project #:	PZ-22-00384
Project Name:	Resubmission of MPA and Zone Change
Address/Location:	North of Stagecoach, East of Foothill
Description:	Applicant withdrew previous application after September P&Z, resubmitted addressing concerns.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on WED., OCT. 26, 2022. Thank you!

I Nichole Jensen (name) have reviewed the plans on behalf of Tesoro Logistics Northwest Pipeline LLC (Dept./Organization) for the above-referenced project.

Email: ndjensen@marathonpetroleum.com Phone #: 307-922-2218

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

\_\_\_\_\_  
Signature of Reviewer

10/26/2022  
\_\_\_\_\_  
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Previous Responding Utility Review Committee Members
From:	Cathy Greene, City Planner
Date:	October 19, 2022
Project #:	PZ-22-00384
Project Name:	Resubmission of MPA and Zone Change
Address/Location:	North of Stagecoach, East of Foothill
Description:	Applicant withdrew previous application after September P&Z, resubmitted addressing concerns.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on WED., OCT. 26, 2022. Thank you!

I Meghan Jackson (name) have reviewed the plans on behalf of Engineering Dept.  
(Dept./Organization) for the above-referenced project.

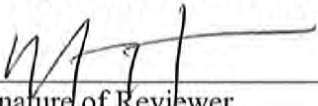
Email: meghan\_jackson@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

  
Signature of Reviewer

10/26/2022  
Date

## **Attachment D**

Adjacent property owners notice & photos of property posting.





**Department of Public Services/Planning**

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

cathy\_greene@rswy.net

October 28, 2022

Project #: PZ-22-00384

Dear Property Owner or Interested Party:

This letter is to inform you that an application submitted by Mr. Stephen Thomas of 1<sup>st</sup> Arrow Corp. (property owner) and represented by Mr. Eric Harris of WHS (engineer), requesting that the Rock Springs Master Plan Official Land Use Map be amended AND the Official Zoning Map of the City of Rock Springs be amended for property located in Township 19 North, Range 105 West, Section 22. Said parcel containing 78 acres more or less.

**Records show that this property is adjacent to or near property you own (please refer to the attached map and the location diagram below).**

The Rock Springs Planning and Zoning Commission will consider this request at a public hearing to be held on **Wednesday, November 9, 2022 at 7:00 p.m.** in the Rock Springs City Hall Council Chambers, 212 'D' Street. Should you have any comments regarding this application, please attend the meeting or submit written comments no later than 5:00 p.m. on Tuesday, November 8, 2022.

For further information, please contact the Rock Springs Planning Division at (307) 352-1540.

Regards,

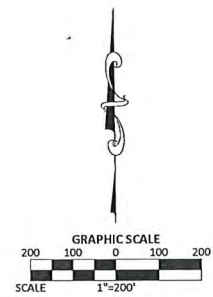
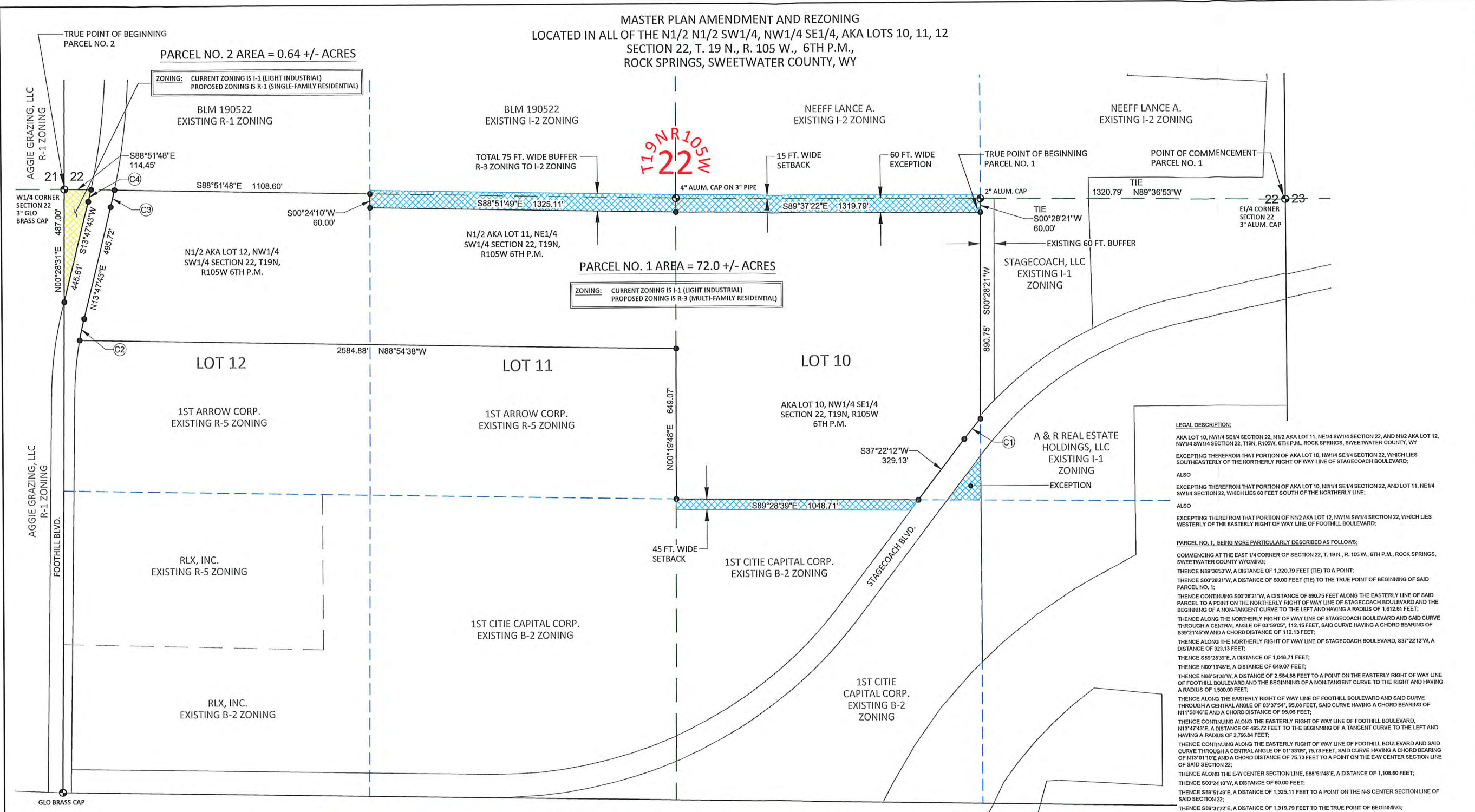
A handwritten signature in blue ink that reads "Cathy Greene".

Cathy Greene  
City Planner

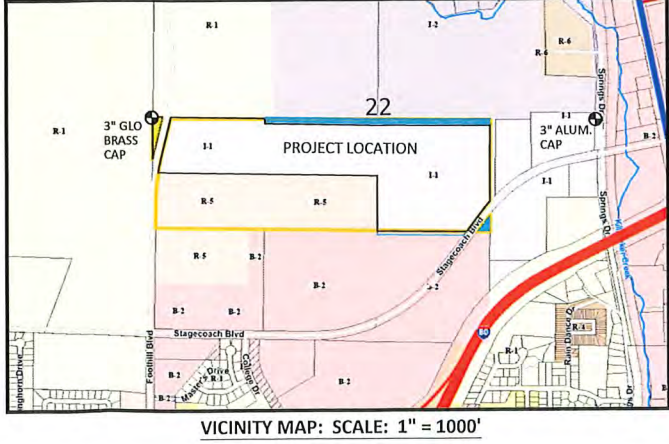
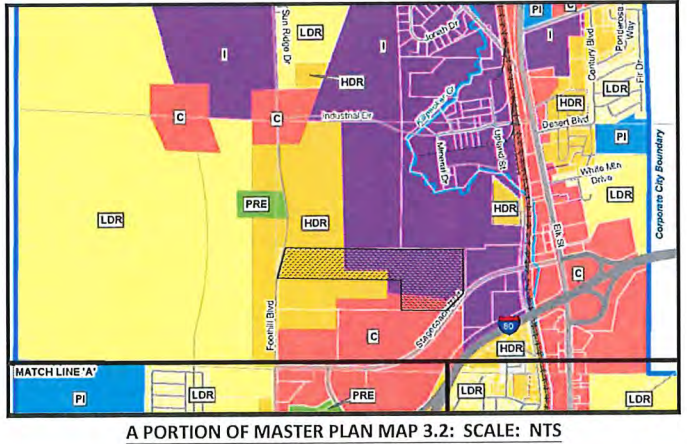
Enc.







- LEGEND**
- Found Monument
  - Zone Change Boundary
  - Section Line
  - 1/4 Section Line
  - 1/16 Section Line
  - GIS Boundary Lines
  - Exceptions/Setbacks
  - Exception/Zone Change



**LEGAL DESCRIPTION:**

AKA LOT 10, NW1/4 SE1/4 SECTION 22, N1/2 AKA LOT 11, NE1/4 SW1/4 SECTION 22, AND N1/2 AKA LOT 12, NW1/4 SW1/4 SECTION 22, T19N, R105W, 6TH P.M., ROCK SPRINGS, SWEETWATER COUNTY, WY

EXCEPTING THEREFROM THAT PORTION OF AKA LOT 10, NW1/4 SE1/4 SECTION 22, WHICH LIES SOUTHEASTERLY OF THE NORTHERLY RIGHT OF WAY LINE OF STAGECOACH BOULEVARD;

ALSO

EXCEPTING THEREFROM THAT PORTION OF AKA LOT 10, NW1/4 SE1/4 SECTION 22, AND LOT 11, NE1/4 SW1/4 SECTION 22, WHICH LIES 60 FEET SOUTH OF THE NORTHERLY LINE;

ALSO

EXCEPTING THEREFROM THAT PORTION OF N1/2 AKA LOT 12, NW1/4 SW1/4 SECTION 22, WHICH LIES WESTERLY OF THE EASTERLY RIGHT OF WAY LINE OF FOOTHILL BOULEVARD;

**PARCEL NO. 1, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

COMMENCING AT THE EAST 1/4 CORNER OF SECTION 22, T. 19 N., R. 105 W., 6TH P.M., ROCK SPRINGS, SWEETWATER COUNTY WYOMING;

THENCE N89°36'53"W, A DISTANCE OF 1,320.79 FEET (TIE) TO A POINT;

THENCE S00°28'21"W, A DISTANCE OF 60.00 FEET (TIE) TO THE TRUE POINT OF BEGINNING OF SAID PARCEL NO. 1;

THENCE CONTINUING S00°28'21"W, A DISTANCE OF 890.75 FEET ALONG THE EASTERLY LINE OF SAID PARCEL TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF STAGECOACH BOULEVARD AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT AND HAVING A RADIUS OF 1,612.61 FEET;

THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF STAGECOACH BOULEVARD AND SAID CURVE THROUGH A CENTRAL ANGLE OF 03°59'05", 112.15 FEET, SAID CURVE HAVING A CHORD BEARING OF S39°21'45"W AND A CHORD DISTANCE OF 112.13 FEET;

THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF STAGECOACH BOULEVARD, S37°22'12"W, A DISTANCE OF 329.13 FEET;

THENCE S89°28'39"E, A DISTANCE OF 1,048.71 FEET;

THENCE N00°19'48"E, A DISTANCE OF 649.07 FEET;

THENCE N88°54'38"W, A DISTANCE OF 2,584.88 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF FOOTHILL BOULEVARD AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT AND HAVING A RADIUS OF 1,500.00 FEET;

THENCE ALONG THE EASTERLY RIGHT OF WAY LINE OF FOOTHILL BOULEVARD AND SAID CURVE THROUGH A CENTRAL ANGLE OF 03°37'54", 95.06 FEET, SAID CURVE HAVING A CHORD BEARING OF N11°56'42"E AND A CHORD DISTANCE OF 95.06 FEET;

THENCE CONTINUING ALONG THE EASTERLY RIGHT OF WAY LINE OF FOOTHILL BOULEVARD, N13°47'43"E, A DISTANCE OF 495.72 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT AND HAVING A RADIUS OF 2,786.84 FEET;

THENCE CONTINUING ALONG THE EASTERLY RIGHT OF WAY LINE OF FOOTHILL BOULEVARD AND SAID CURVE THROUGH A CENTRAL ANGLE OF 01°33'09", 75.73 FEET, SAID CURVE HAVING A CHORD BEARING OF N13°01'10"E AND A CHORD DISTANCE OF 75.73 FEET TO A POINT ON THE E-W CENTER SECTION LINE OF SAID SECTION 22;

THENCE ALONG THE E-W CENTER SECTION LINE, S88°51'48"E, A DISTANCE OF 1,108.60 FEET;

THENCE S00°24'10"W, A DISTANCE OF 60.00 FEET;

THENCE S89°51'49"E, A DISTANCE OF 1,325.11 FEET TO A POINT ON THE N-S CENTER SECTION LINE OF SAID SECTION 22;

THENCE S89°37'22"E, A DISTANCE OF 1,319.79 FEET TO THE TRUE POINT OF BEGINNING; AND CONTAINS A TOTAL AREA OF 72.0 ACRES, MORE OR LESS.

**PARCEL NO. 2, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

COMMENCING AT THE WEST 1/4 CORNER OF SECTION 22, T. 19 N., R. 105 W., 6TH P.M., ROCK SPRINGS, SWEETWATER COUNTY WYOMING, ALSO BEING THE TRUE POINT OF BEGINNING;

THENCE S88°51'48"E, A DISTANCE OF 114.45 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF FOOTHILL BOULEVARD AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT AND HAVING A RADIUS OF 2,696.84 FEET;

THENCE ALONG THE WESTERLY RIGHT OF WAY LINE OF FOOTHILL BOULEVARD AND SAID CURVE THROUGH A CENTRAL ANGLE OF 01°08'03", 53.38 FEET, SAID CURVE HAVING A CHORD BEARING OF S13°13'42"W AND A CHORD DISTANCE OF 53.38 FEET;

THENCE CONTINUING ALONG THE WESTERLY RIGHT OF WAY LINE OF FOOTHILL BOULEVARD S13°47'43"W, A DISTANCE OF 445.61 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 22;

THENCE ALONG THE WEST LINE OF SAID SECTION 22, N00°28'31"W, A DISTANCE OF 487.00 FEET TO THE TRUE POINT OF BEGINNING; AND CONTAINS A TOTAL AREA OF 0.64 ACRES, MORE OR LESS.

CURVE TABLE						
CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	112.15'	1612.61'	56.10'	3°59'05"	S39°21'45"W	112.13'
C2	95.08'	1500.00'	47.55'	3°37'54"	S11°58'46"W	95.06'
C3	75.73'	2796.84'	37.87'	1°33'05"	N13°01'10"E	75.73'
C4	53.38'	2696.84'	26.69'	1°08'03"	N13°13'42"E	53.38'

**WHS**  
ENGINEERING • SURVEYING • PLANNING  
1515 9th STREET, STE A, ROCK SPRINGS, WY 82901  
307.362.6065 | 866.938.3088 | www.whshpcc.com

LANDOWNER  
1ST ARROW CORP  
6905 S 1300 E #277  
MIDVALE, UTAH

MASTER PLAN AMENDMENT AND REZONING  
ROCK SPRINGS, WY 82901

CONFIDENTIALITY NOTES: This document contains information which is confidential and proprietary to the client. It is to be used only for the purposes intended and is not to be distributed, copied, or otherwise used without the written consent of the client. The client warrants that the information is accurate and complete.

DATE	BY	APP'D
10-14-2022	SNA	
08-19-2022	BLM	
	ELI	
	REVISED	
	INITIAL PLAT	
	ISSUED	

DRAWN BY: ELI  
CHECKED BY: SNA  
PROJECT NO: 21004  
DATE: 10/14/2022

SHEET 1 OF 1



PUBLIC NOTICE OF PROPOSED MASTER PLAN USE MAP  
AND ZONING MAP AMENDMENT

Take notice that this property, owned by 1st Arrow Corp. and totaling 0.64 acres, is proposed for a Master Plan Land Use Map Amendment from HDR-High Density Residential to LDR- Low Density Residential AND Zoning Map Amendment from I-1 Light Industrial to R-1 Single Family Residential.

A Public Hearing will be held before the City of Rock Springs Planning & Zoning commission on November 9th, 2022 at 7:00 P.M. in the City Council Chambers to consider said action.

Interested parties may obtain more information by attending the meeting or by contacting the City of Rock Springs at (307) 352-1540 or email at [city\\_planner@rswy.net](mailto:city_planner@rswy.net)



PUBLIC NOTICE OF PROPOSED MASTER PLAN USE MAP  
AND ZONING MAP AMENDMENT

Take notice that this property, owned by 1st Arrow Corp. and totaling 75.64 acres, is proposed for a Master Plan Land Use Map Amendment from HDR-High Density Residential, C-Commercial, and I-Industrial to LDR-Low Density Residential AND Zoning Map Amendment from I-1 Light Industrial to R-3 Medium Density Residential.

A Public Hearing will be held before the City of Rock Springs Planning & Zoning commission on November 9th, 2022 at 7:00 P.M. in the City Council Chambers to consider said action.

Interested parties may obtain more information by attending the meeting or by contacting the City of Rock Springs at (307) 352-1540 or email at [city\\_planner@rswy.net](mailto:city_planner@rswy.net)





# Planning & Zoning Commission Staff Report

Meeting: November 9, 2022 at 7:00 p.m.

REPORT SUMMARY			
<b>Agenda Item:</b>	New Business #1	<b>Project Number:</b>	PZ-22-00419
<b>Project Name:</b>	Krone Towing & Recovery Conditional Use Permit		
<b>Project Location:</b>	2109 Upland Street, Building I		
<b>Project Description:</b>	Consideration of Conditional Use Permit approval for towing, recovery and storage yard		
<b>Applicant:</b>	Zackary Krone 1015 Truman Street Rock Springs, WY 82901	<b>Property Owner:</b>	Kathy Coleman Elk Rentals LLC 2071 Fir Drive Rock Springs, WY 82901
<b>Engineer:</b>	N/A	<b>Surveyor:</b>	N/A
<b>Public Notification:</b>	Adjacent Property Letters Mailed October 28, 2022; Public Hearing Notice : N/A		
<b>Current Master Plan Land Use Designation:</b>	I (Industrial)	<b>Proposed Master Plan Land Use Designation:</b>	No Change
<b>Current Zoning District</b>	I-2 (Heavy Industrial)	<b>Proposed Zoning District</b>	No Change
<b>References:</b>	Rock Springs Zoning Ordinance §13-811 Heavy Industrial Zone (I-2) Rock Springs Zoning Ordinance §13-815.O.(3) Storage; Exterior Displays		
<b>Exhibits:</b>	A. Conditional Use Permit Application B. Site Plan/Aerial GIS Photo C. Utility Review Comment Forms D. Adjacent Property Owner Letter		

## PETITION SUMMARY:

The applicant, Zackary Krone, is requesting Conditional Use Permit approval to operate a “towing and recovery office and storage yard” on a leased parcel addressed as 2109 Upland Street, Bldg. I. The Conditional Use Permit Application can be found in [Exhibit A](#) and the Site Plan/Aerial GIS Photo can be found in [Exhibit B](#).

Section 13-815.O.(3) of the Rock Springs Zoning Ordinance further states: “All materials, supplies, merchandise or other similar matter not on display or direct sale, rental or lease to the ultimate consumer or user shall be stored within the confines of a one hundred (100%) percent opaque wall or fence not less than six (6) feet tall.” There is an existing fence surrounding the storage area, but it does not currently contain privacy slats.

## PROPERTY LOCATION:



Figure 1: Location Map



*Figure 2: Aerial Photo of Property*

#### **MASTER PLAN LAND USE DESIGNATION AND ZONING:**

The property is zoned I-2 Heavy Industrial. Since 2014, “Towing and Recovery Office and Storage Yard” has been listed as a Conditionally Permitted Use in the I-2 Zoning District. Most surrounding property is also zoned I-2, with the exception of B-2 Zoning to the east, which is railroad tracks and additional property owned by Elk Street Rentals and other properties with Elk Street frontage. The applicant currently operates a diesel repair shop at the proposed location. Other businesses in this area include oilfield companies, bulk storage and distribution, trucking, and automotive services.

The Master Plan Land Use Map designation of the subject property and all surrounding property is I (Industrial). The applicant is not proposing to re-zone the property or amend the Master Plan Land Use Map.

## **UTILITY REVIEW:**

This item was forwarded to the Utility Review Committee for comment on October 25, 2022. All of the comment forms that were submitted can be found in **Exhibit C**.

## **PUBLIC NOTIFICATION:**

Adjacent Property Owner Notice letters were mailed to property owners located within 200 feet of the boundaries of the subject property on October 28, 2022. Refer to **Exhibit D**. At the time this report was prepared, one verbal comment has been received:

*Mr. Jim Lever voiced his concerns about benzenes from automobile fluids causing permanent damage to this property and surrounding properties.*

While we understand this concern, this is exactly why we want these uses in the Industrial zoned areas. While commercial real estate transactions typically require a Phase 1 environmental assessment, most properties located in Industrial areas will most likely have a prior use that will then trigger further assessment with a Phase 2. With this said, we will ask the applicant to have a spill procedure in place.

Staff will advise the Commission of any comments received after the date of this report.

## **PROCEDURE:**

13-905.A. Generally: Certain uses, while generally not suitable in a particular Zoning District, may, under certain circumstances, be acceptable. When such circumstances exist, a Conditional Use Permit may be granted. The Permit may be issued for a specified period of time, with automatic cancellation at the end of that time unless it is renewed, or conditions may be applied to the issuance of the permit and periodic review may be required. The permit shall be granted for a particular use and not for a particular person or firm.

13-905. D. Review and Decision by Planning and Zoning Commission: The Commission shall consider the effect of the proposed use upon the health, safety and general welfare of occupants of surrounding lands, existing and anticipated traffic conditions including parking facilities on adjacent streets and land, and the effect of the proposed use on the Comprehensive Plan. The Commission may grant the application by motion, imposing such conditions and safeguards as it deems necessary or it may deny the application.

The 2012 Master Plan classifies this area for industrial uses and development.

## **STAFF RECOMMENDATION:**

A formal recommendation will be provided after public comment at the Planning & Zoning Commission Meeting.

Staff recommends approval of the Conditional Use Permit, with the following conditions:

- 1) All utility review comments shall be met.
- 2) Policy in place for handling fluid spills.
- 3) Towed vehicles shall be parked inside the building or within the storage lot as shown on the approved site plan.
- 4) Vehicles must be parked in an orderly manner. No stacking of vehicles is allowed.
- 5) The storage lot is limited to usage only by the holder of this Conditional Use Permit.
- 6) No parting or salvage of vehicles is allowed with this permit. Salvage operations will require an amended Conditional Use Permit and Site Plan.
- 7) No towed, recovered or impounded vehicles shall occupy required off-street parking spaces.
- 8) Within six (6) months, install privacy slats in the storage area fence to provide the required screening.

# **EXHIBIT A**

## **Conditional Use Permit Application**





# CITY OF ROCK SPRINGS CONDITIONAL USE APPLICATION

Planning & Zoning Division  
212 D Street Rock  
Springs WY 82901  
307.352.1540 (phone)  
city\_planner@rswy.net

## City Use Only:

Date Received Oct 24, 2022

File Number: P2-22-00419

A. PROJECT/BUSINESS NAME: Krone Towing & Recovery LLC

B. PROPERTY ADDRESS: 2109 Upland St building I

(IF THE PROPERTY DOES NOT HAVE AN EXISTING ASSIGNED ADDRESS, LEGAL DOCUMENTATION OF THE LOCATION MUST BE SUBMITTED – i.e. Property Tax ID Number, Legal Description, etc.)

## C. CONTACT INFORMATION:

NOTE: The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.

### Primary Contact Person (Applicant):

Zackary Krone 307 212 0951 Krone towing@gmail.com  
Name Phone Number Email Address

1015 Truman St Rock Springs WY 82901  
Mailing Address City State Zip

### Property Owner Information:

Kathy Coleman 406 925 2325 Kathy2325@live.com  
Name Phone Number Email Address

\_\_\_\_\_  
Mailing Address City State Zip

### Engineer Information (if applicable):

\_\_\_\_\_  
Engineer's Name Email

\_\_\_\_\_  
Company Name Phone Number Fax Number

\_\_\_\_\_  
Mailing Address City State Zip

### Surveyor Information (if applicable):

\_\_\_\_\_  
Surveyor's Name Email

\_\_\_\_\_  
Company Name Phone Number Fax Number

\_\_\_\_\_  
Mailing Address City State Zip



**C. CONDITIONAL USE PERMIT(S) REQUESTED (check all that apply):**

**C.U.P. Requiring  
Planning and Zoning Commission Approval**

- ☐ Adjusted Front Setback
- ☐ Bed and Breakfast Inn
- ☐ Corner Side Yard Attached Carport
- ☐ Detached Garage Exceeding 1,200sf
- ☐ Gas Pumps & Fueling Stations
- ☐ Lot Coverage Exceeding 50%
- ☐ Off-Site Parking
- ☐ Unpaved Parking Area (B-2 Zoning District)
- ☐ Use of Explosives
- ☐ Wireless Communication Facility in Residential Zoning District

**C.U.P. Requiring  
Staff Level Approval**

- ☐ Accessory Structure Exceeding Height of Primary Structure
- ☐ Special Purpose Fence
- ☐ Unpaved Parking Area (Industrial)
- ☐ Land Reclamation, Mining, & Soil Processing
- ☐ Garage Exceeding Three (3) Doors
- ☐ Driveway Access Exceeding 65% Street Frontage
- ☐ Sign
- ☐ Other, please specify: \_\_\_\_\_

☒ Other, please specify: Towing & Storage

**D. PLEASE ANSWER THE FOLLOWING ON THE SPACES PROVIDED:**

1. Provide a detailed description of the intended Conditional Use, including proposed use, length of use (permanent or temporary), hours of operation, etc.

24/7 Towing and recovery indefinitely

2. Describe all existing and proposed structures and uses located on this property. **A site plan shall accompany this application.** Please refer to the attached Site Plan Checklist.

Existing Shop (for diesel repair business), outdoor screened in storage area.

3. Describe the effect of the proposed Conditional Use upon the health, safety, and general welfare of the occupants of surrounding lands, existing and anticipated traffic conditions including parking facilities on adjacent streets and land.

No changes from existing type use.

#### E. SUBMITTAL REQUIREMENTS:

All items shall be submitted together as a consolidated packet. Incomplete applications will not be reviewed and will be returned to the applicant.

For items requiring review by the Planning and Zoning Commission, the City of Rock Springs must receive the complete application by the submission deadlines found in the "Applicant's Guide to Conditional Use Permits" supplemental handout. Applications submitted after the submission deadlines will be postponed until the following month's Planning & Zoning Commission Meeting.

Initial next to each item to verify that the item is attached to this application:

MANDATORY ITEMS:	
	Filing Fee of \$60.00 (Checks made payable to the City of Rock Springs)
	Completed Application (signed by Applicant and Property Owner)
	Two (2) full sized site plan drawings (printed to scale) – see attached Site Plan Checklist
	One (1) reduced site plan (no larger than 11" x 17") – only if full-size site plan is larger than 11" x 17"
OPTIONAL ITEMS (BUT <u>STRONGLY ENCOURAGED</u> TO PREVENT DELAYS IN APPROVAL):	
	Building Elevations / Architectural Drawings
	Floor plans of building interior to show areas of use
	Property photos
	Additional information to support the Conditional Use request

#### F. SIGNATURES REQUIRED:

##### Applicant Certification:

I, the applicant, hereby certify the following:

- I have read, reviewed and understand the attached Site Plan Checklist, Conditional Use Review Procedures & Submission Deadlines.
- I understand that incomplete applications will not be processed and will result in delays.
- The information provided with this application, and attached information, is true and correct, and false or inaccurate information used by an applicant to secure compliance with the Zoning Ordinance shall be reason to deny or revoke any application or permit.
- I understand that it is the responsibility of the applicant and/or property owner to secure any and all required Local, Federal and State Permits (i.e. Building Permits, DEQ permits, County Permits, etc.) and I agree to contact those agencies accordingly.

Applicant's Signature:



Date:

10/24/2022

##### Property Owner Consent:

By signature hereon, I certify that I am the owner of the property that is the subject of this application and that I have read this application and consent to its filing.

Owner's Signature:

See attached business license

Date:

## **SITE PLAN CHECKLIST**

At a minimum, the following items shall be shown on your Conditional Use Permit site plan (check them off as you consider each one). Failure to include these items could result in delays/denials. If a separate Site Plan Application is required for your project in addition to the Conditional Use Permit Application (such as with new commercial construction), the same Site Plan may be attached to this application.

- ☒ Project Address
- ☐ Location map
- ☐ Names and mailing addresses of developer / owner and engineer / architect
- ☐ Boundary line of property with all dimensions
- ☐ Adjacent streets and street rights-of-way
- ☐ Gross square footage of existing and proposed structures and uses, including number of floors
- ☐ All paved and unpaved surfaces
- ☐ Parking facilities (including handicap parking) – including dimension of parking stalls, drive aisle widths, etc.
- ☐ Buildings and structures (existing and proposed), including setbacks from property lines for all structures
- ☐ Easements (access, utility, drainage, pedestrian, etc.)
- ☐ Utilities
- ☐ Landscaping
- ☐ Exterior signs
- ☐ Trash enclosures
- ☐ Surface water drainage arrows
- ☐ Location of Floodplain and/or Floodway on property, if applicable (separate Floodplain Development Permit Application also required)

## **CONDITIONAL USE PERMIT REVIEW PROCEDURES**

### **ADMINISTRATIVE REVIEW PROCESS:**

Application submittal...	Application is reviewed for completeness.
Within 5 working days after application submittal...	Planning staff will notify all property owners located within 200 feet of request.
At least 6 calendar days after application submittal...	The application may be forwarded to the Utility Review Committee for comment, dependent upon the type and complexity of the Conditional Use request. It may be determined that a Utility Review Committee Meeting is necessary to provide the applicant an opportunity to discuss the application with internal and external departments/agencies.
<u>No sooner</u> than 10 calendar days after adjacent property notification...	A Permit Determination shall be made based on the comments received from notified property owners and the Utility Review Committee. Permit Determination shall include such conditions as are deemed necessary to protect the health, safety and welfare of the community and surrounding neighborhood.
Within 10 working days of Permit Determination...	The decision of the Zoning Administrator may be appealed to the Planning & Zoning Commission via written request. Appeals may be made by the applicant or affected property owners. Appeals to the Planning & Zoning Commission will follow the Planning and Zoning Commission review process listed below.

**P&Z COMMISSION REVIEW - CONDITIONAL USE PERMIT SUBMITTAL DEADLINES:**

**NOTE:** Applications that are not received by 5:00 p.m. on the Application Deadline will be postponed until the following month's meeting. If a deadline falls near a City holiday, please contact the Planning Department to verify the days City Hall will be closed to ensure that your application is submitted on time.

**BE ADVISED: THE APPLICANT (OR ASSIGNED REPRESENTATIVE) MUST ATTEND ALL SCHEDULED MEETINGS.**

	January Meeting	February Meeting	March Meeting	April Meeting	May Meeting	June Meeting	July Meeting	August Meeting	September Meeting	October Meeting	November Meeting	December Meeting
Submittal Deadline	12/28/2021	1/24/2022	2/21/2022	3/28/2022	4/25/2022	5/23/2022	6/27/2022	7/25/2022	8/29/2022	9/26/2022	10/24/2022	11/28/2022
Review of Completeness	Within three (3) working days after the submittal, the planning Department shall review the application for conformance with the Conditional Use Permit submittal requirements. If the application does not conform to the submittal requirements, the application will be deemed as incomplete, the applicant will be notified, and the application will be returned.											
Utility Review Comments and/or Meeting *	Utility Review Meetings are held <u>at least</u> 7 days after application submittal. Utility Review Meetings are generally held on Tuesday afternoons and are scheduled in the order in which applications are submitted. A memo will <u>only</u> be sent to the parties listed on the application so be sure to provide all addresses of whom you would like to be invited to the meeting. It is required that the petitioner or an assigned representative attend the meeting. <b>SEE NOTE BELOW.</b>											
Adjacent Owner Notice	Property Owner Notices are prepared by the City of Rock Springs and are mailed to property owners within 200' of the effected property a minimum of seven (7) days prior to the Planning and Zoning Commission Public Hearing.											
P&Z Public Meeting	1/12/2022	2/9/2022	3/9/2022	4/13/2022	5/11/2022	6/8/2022	7/13/2022	8/10/2022	9/14/2022	10/12/2022	11/9/2022	12/14/2022

**IMPORTANT NOTES:**

\* Utility review meetings are scheduled in the order in which applications are submitted to the City. In the event that a utility review meeting cannot be scheduled prior to the Planning and Zoning Commission Meeting due to the number of applications that are received ahead of your application, your application will have to be postponed until the following month's Planning and Zoning Commission meeting. Therefore, it is in your best interest to submit your application prior to the application deadline listed on the above table.



# **EXHIBIT B**

## **Site Plan/Aerial GIS Photo**





City of Rock Springs  
**Planning Office**  
 Printed: 10/19/2022

0 30 60 90  
 Feet



**NOTICE:**

This map is intended for illustrative purposes only. Users are advised to verify the information shown hereon by consulting the Rock Springs Planning & Zoning Office. Report packet page 42



# **EXHIBIT C**

## **Utility Review Comment Forms**



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00419
Project Name:	Krone Towing & Recovery LLC
Address/Location:	2109 Upland Building I
Description:	Towing and Recovery Office and Storage yard in an industrial zone. This will be supplemental to his existing diesel repair shop.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on NOVEMBER 1, 2022. Thank you!

I Christy Austin (name) have reviewed the plans on behalf of Rocky Mtn Paper (Dept./Organization) for the above-referenced project.

Email: christy.austin@pacifiCorp.com Phone #: 307-352-5213

Please check as applicable:

- ☐ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

There is an overhead live power pole inside this fenced in area. It only serves your building. RMP would need access to this pole. If we can't access the pole you won't have power if something goes wrong.

☐ Please provide me with a copy of the Revised Plans for review.

[Signature]  
Signature of Reviewer

10/26/22  
Date





Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00419
Project Name:	Krone Towing & Recovery LLC
Address/Location:	2109 Upland Building I
Description:	Towing and Recovery Office and Storage yard in an industrial zone. This will be supplemental to his existing diesel repair shop.



There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on NOVEMBER 1, 2022. Thank you!

I Nichole Jensen (name) have reviewed the plans on behalf of Tesoro Logistics Northwest Pipeline LLC (Dept./Organization) for the above-referenced project.

Email: ndjensen@marathonpetroleum.com Phone #: 307-922-2218

Please check as applicable:

- ☒ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Nichole Jensen  
Signature of Reviewer

10/26/2022  
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To: Utility Review Committee  
From: Cathy Greene, City Planner  
Date: October 25, 2022  
Project #: PZ-22-00419  
Project Name: Krone Towing & Recovery LLC  
Address/Location: 2109 Upland Building I  
Description: Towing and Recovery Office and Storage yard in an industrial zone. This will be supplemental to his existing diesel repair shop.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on NOVEMBER 1, 2022. Thank you!

I Clint Zambai (name) have reviewed the plans on behalf of RS Water  
(Dept./Organization) for the above-referenced project.

Email: \_\_\_\_\_ Phone #: 307-352-1405

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Clint Zambai  
Signature of Reviewer

10/28/2022

Date





Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00419
Project Name:	Krone Towing & Recovery LLC
Address/Location:	2109 Upland Building I
Description:	Towing and Recovery Office and Storage yard in an industrial zone. This will be supplemental to his existing diesel repair shop.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on NOVEMBER 1, 2022. Thank you!

I Justin Stewart (name) have reviewed the plans on behalf of WRF  
(Dept./Organization) for the above-referenced project.

Email: justin\_stewart@rswy.net Phone #: 307-352-1466

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):  
Vehicles cannot be washed outside

☐ Please provide me with a copy of the Revised Plans for review.

Justin Stewart

Digitally signed by Justin Stewart  
Date: 2022.11.01 15:23:38 -06'00'

Signature of Reviewer

11/1/2022

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00419
Project Name:	Krone Towing & Recovery LLC
Address/Location:	2109 Upland Building I
Description:	Towing and Recovery Office and Storage yard in an industrial zone. This will be supplemental to his existing diesel repair shop.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on NOVEMBER 1, 2022. Thank you!

I Meghan Jackson (name) have reviewed the plans on behalf of Engineering Dept.  
(Dept./Organization) for the above-referenced project.

Email: meghan\_jackson@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

1. Drainage shall not affect adjacent properties.

☐ Please provide me with a copy of the Revised Plans for review.

[Signature]  
Signature of Reviewer

11/1/2022

Date





Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00419
Project Name:	Krone Towing & Recovery LLC
Address/Location:	2109 Upland Building I
Description:	Towing and Recovery Office and Storage yard in an industrial zone. This will be supplemental to his existing diesel repair shop.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on NOVEMBER 1, 2022. Thank you!

I Nathan Reese (name) have reviewed the plans on behalf of Rock Springs Fire Department (Dept./Organization) for the above-referenced project.

Email: nathan\_reese@rswy.net

Phone #: 307-352-1484

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

Storage must comply with section 315.4 of the 2021 International Fire Code which states:

315.4 Outside Storage. Outside storage of combustible materials shall not be located within 10 feet (3048 mm) of a lot line. Exceptions:

1. The separation distance is allowed to be reduced to 3 feet (914 mm) for storage not exceeding 6 feet (1829 mm) in height.
2. The separation distance is allowed to be reduced where the fire code official determines that hazard to the adjoining property does not exist.

☐ Please provide me with a copy of the Revised Plans for review.

Nathan Reese

Signature of Reviewer

10/27/2022

Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00419
Project Name:	Krone Towing & Recovery LLC
Address/Location:	2109 Upland Building I
Description:	Towing and Recovery Office and Storage yard in an industrial zone. This will be supplemental to his existing diesel repair shop.



There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on NOVEMBER 1, 2022. Thank you!

I Cathy Greene (name) have reviewed the plans on behalf of Planning + Zoning (Dept./Organization) for the above-referenced project.

Email: Cathy.greene@rswy.net Phone #: 307 352 1540

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

- must meet any UR comments
- must obtain approval of CUP from P+Z
- must stripe parking
- Any signage will require zoning review (+ Bldg Permit)
- All required WYDOT documentation.

☐ Please provide me with a copy of the Revised Plans for review.

Cathy Greene  
Signature of Reviewer

11-1-22  
Date

# **EXHIBIT D**

## **Adjacent Property Owner Letter**



October 28, 2022

Project #: PZ-22-00419

Dear Property Owner / Interested Party:

This letter is to inform you that Zackary Krone, owner of Krone Towing & Recovery LLC, has submitted a request for Conditional Use Permit approval for property located at 2109 Upland Street, Building I.

Records show that this property is adjacent to or near property you own (*see map below*). The following summarizes the application:

The applicant is requesting Conditional Use Permit approval for the operation of a Towing and Recovery Office and Storage Yard. In accordance with Section 13-811.C(13) of the Rock Springs Zoning Ordinance, a Towing and Recovery Office and Storage Yard is a conditionally permitted use on property zoned I-2 (Heavy Industrial) which requires approval from the Rock Springs Planning and Zoning Commission. .

Conditional Use Permit procedures can be found in Section 13-905 of the Rock Springs Zoning Ordinance. Per §13-905, the Planning and Zoning Commission may approve the application by motion as presented, impose conditions and safeguards to the approval or deny the application.

The Rock Springs Planning and Zoning Commission will consider this request at a public meeting to be held on Wednesday, November 9, 2022 at 7:00 p.m. in the Rock Springs City Hall Council Chambers, 212 D Street. Interested persons are invited to attend or submit written comments no later than Tuesday, November 8<sup>th</sup> at 5:00 p.m.

If you have any questions or concerns about this application, please call or email me at the contact above.

Sincerely,



Cathy Greene  
City Planner







**PLANNING & ZONING COMMISSION  
STAFF REPORT  
Meeting: November 9, 2022 at 7:00 p.m.**

REPORT SUMMARY			
<b>Agenda Item:</b>	New Business #2	<b>Project Number:</b>	PZ-22-00425
<b>Project Name:</b>	YESCO Digital Billboard		
<b>Project Address:</b>	1150 Dewar Drive		
<b>Project Description:</b>	Conditional Use Permit – collocation on the property 13-818.D.4 Conditional Use Permit – digital billboard 13-818.D.5		
<b>Applicant:</b>	Matt Largent YESCO Outdoor Media 139 W 2 <sup>nd</sup> St, Ste. 1A Casper, WY 82601	<b>Property Owner:</b>	Goodwill Industries of Wyoming 612 W 17 <sup>th</sup> Street Cheyenne, WY 82001
<b>Engineer:</b>	N/A	<b>Surveyor:</b>	N/A
<b>Public Notification:</b>	Adjacent Property Letters Mailed October 28, 2022; Public Hearing Notice – Not Required for Conditional Use Permits		
<b>Current Master Plan Land Use Designation:</b>	C (Commercial)	<b>Proposed Master Plan Land Use Designation:</b>	N/A
<b>Current Zoning District</b>	B-2 (Community Business)	<b>Proposed Zoning District</b>	N/A
<b>References:</b>	<ul style="list-style-type: none"> <li>Rock Springs Zoning Ordinance §13-818. Signs</li> <li>Rock Springs Zoning Ordinance §13-905. Procedure for Conditional Use Permit Approval</li> </ul>		
<b>Attachments:</b>	<ul style="list-style-type: none"> <li>A. Application</li> <li>B. Site Plan and Sign Details</li> <li>C. Adjacent Property Owner Letter</li> <li>D. Comment Received</li> <li>E. Utility Review Comment Forms</li> </ul>		

The applicant has applied for two Conditional Use Permit requests regarding a digital billboard to be located on property addressed as 1150 Dewar Drive. The application is included as **Attachment A**. The following summarizes the two requests:



As shown in Figure 1, the property is located along Dewar Drive. The subject property is not located within a platted subdivision. The property can be generally described as a 0.41 acre tract of land located on the northwesterly side of Dewar Drive.

As shown in Figure 2, the property is currently zoned B-2, Community Business.

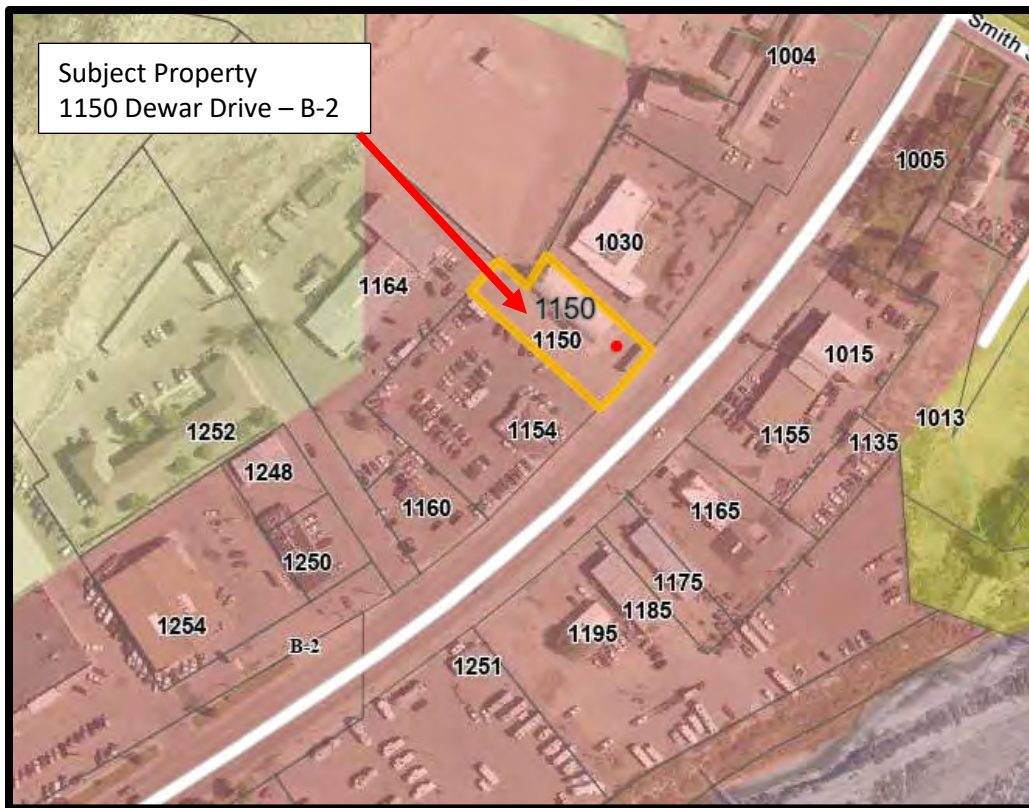


Figure 2: Zoning Map

**PUBLIC NOTIFICATION:**

Adjacent Property Owner Notice letters were mailed to property owners located within 200 feet of the boundaries of the subject property on October 28, 2022. Refer to [Attachment C](#). At the time this report was prepared, one comment has been received via email, see [Attachment D](#).

Staff will advise the Commission of any additional comments received after the date of this report.

**PROCEDURE:**

Conditional Use Permits are reviewed in accordance with §13-905. The Planning and Zoning Commission grants the final determination of the Conditional Use Permit. They are not forwarded to the City Council for review. As noted in §13-905.D., the Commission “shall consider the effect of the proposed use upon the health, safety, and general welfare of occupants of surrounding lands, existing and anticipated traffic conditions including parking facilities on adjacent streets and land, and the effect of the proposed use on the Comprehensive Plan. The Commission may grant the application by motion, imposing such conditions and safeguards as it deems necessary, or it may deny the application.”

**UTILITY REVIEW:**

This item was forwarded to the Utility Review Committee for comment on October 25, 2022. All of the comment forms that were submitted can be found in [Exhibit E](#).

**Definitions**

In accordance with §13-818.B of the Rock Springs Zoning Ordinance, the following definitions apply to this request:



- **Billboard or Off-Premise Sign:** A permanently affixed freestanding sign whereon advertising matter is displayed conspicuously and which advertising does not apply to the premises or any use of the premises upon which the signage is located.
- **Digital Billboard Sign:** An Off-Premise Electronic Message Board Sign.

### **Background Information**

*Traditional Billboards.* Traditional billboards are large, outdoor advertising signs typically found along major roadways in high traffic areas. They are used to present large advertisements to motorists for products and services not located on said premises (i.e. off-premise advertising). In Rock Springs, traditional billboards can be as large as 672 square feet if within 660 feet of an interstate right-of-way. Most traditional billboards are externally lit so as to be visible at night. Billboard “copy” is changed using large sheets of vinyl or paper. Billboard ads typically run for a period of time ranging from one week to several weeks.

As of 2015, there were 40 traditional billboards located in the City.

*Digital Billboards.* Digital billboards are electronic billboards that use computer programs to display a lighted image. Digital billboards can display text, graphics, animations and flashing lights. On a digital billboard, messages can be changed thousands of times per day, providing the opportunity for many different advertisers to use a single billboard on the same day.

Since 2011 three digital billboards have been installed in Rock Springs. In 2011, the City did not have digital billboard regulations in place, and staff recommended placing conditions on the billboard that were similar to those in the City of Cheyenne’s Ordinance, as well as those found in WYDOT regulations. After approving the digital billboard, the Commission’s direction was for staff to return with an Ordinance addressing both digital billboards and electronic message boards for future applications.

In June 2012, the Rock Springs City Council formally adopted the current sign regulations found in §13-818 of the Zoning Ordinance. The following analysis of the proposed digital billboard is based upon those regulations.

### **Analysis**

The property is adjacent to Dewar Drive, a WYDOT right-of-way. In accordance with §13-818.D of the Zoning Ordinance, Conditional Use Permit approval by the Planning and Zoning Commission is required for digital billboards located in the B-2 Zoning District.

Per §13-818.D.(4) of the Zoning Ordinance, the following conditions of approval are required for all Billboards:

	<b>Conditions of Approval</b>	<b>Status</b>
(a)	Area: 672 square feet maximum, if within 660 feet of interstate highway right-of-way, 288 square feet maximum, if beyond the 660 foot interstate highway zone.	<b>Met.</b> Location is beyond the 660’ interstate highway zone. Proposed 288sf meets max. is permitted.
(b)	Height: Double-faced signs – see Sign Area in the definitions section of this Ordinance. Height - 40 feet maximum. May be exceeded with	<b>Met.</b> Proposed height is 35’

	Conditional Use Permit approval by the Planning & Zoning Commission, pursuant to §13-905.	
(c)	Clearance: 10 feet above ground level minimum.	<b>Met.</b> Proposed clearance is 20'.
(d)	Number: 1 maximum per lot or parcel.	<b>Met.</b> No other billboards on parcel.
(e)	Location:	
	(i). No projection beyond the property line of the parcel/lot where it is erected.	<b>Will be a condition of approval.</b>
	(ii). No part of the sign, including the footing, shall be located in a recorded easement.	<b>Met.</b> Utility companies did not indicate that any easements were present in the proposed sign location.
	(iii). No obstruction, overhang or interference with existing utilities.	<b>Met.</b> Utility companies did not indicate the presence of overhead utilities.
(f)	Setback: 10 feet from any part of billboard to the street right-of-way line and 10 feet from any part of billboard to side lot lines.	<b>Will be a condition of approval.</b> 10' labeled on Site Plan is from nearest overhang to property lines.
(g)	Separation: 500 feet along the same side of the road, if a traditional billboard 1500 feet along the same side of the road, if a digital billboard.	<b>Met.</b> Nearest billboard to the southwest (same side of road) is approx. 1562' away.
(h)	Collocation: Conditional Use Permit approval by the Planning & Zoning Commission required if other uses are on the property.	<b>CUP required. Building on the property; currently a storage warehouse.</b>

Per §13-818.D.(5), the following conditions of approval are listed specifically for Digital Billboards:

	Conditions of Approval	Status
(a)	Approval: Conditional Use Permit approval by the Planning & Zoning Commission required, pursuant to §13-905. The following findings of fact shall be made:	
	(i). The digital billboard has no or minimal adverse impacts on traffic and will not obscure or otherwise interfere with an official traffic sign, signal or device, or obstruct or otherwise interfere with the driver's view of approaching, merging, or intersecting traffic, said determination to be made the Director of Engineering and Operations, County Engineer and/or WYDOT, as appropriate; and	<b>Both WYDOT and the City's Engineering Dept. have granted approval subject to their utility review comments.</b>
	(ii). The digital billboard is sited such that it will not block views of any historic structure, public park, cemetery, playground or significant landmark.	n/a
(b)	Dwell Time: 10 seconds, minimum.	<b>Will be a condition of approval. Post construction report required.</b>
(c)	Transitions: 2 seconds or less using immediate, dissolve, or fade method.	<b>Will be a condition of approval. Post construction report required.</b>
(d)	Lighting: Messages/copy shall not increase the ambient lighting level by more than 0.3 foot candles when measured via a foot candle meter based upon the sign area and distance from the sign, as follows:	
	(i). Up to 242 square feet – 150 feet.	n/a
	(ii). 243 to 378 square feet – 200 feet.	<b>Will be a condition of approval. Post construction report required.</b>

	(iii). 378 to 672 square feet – 250 feet.	n/a
	(iv). At the property line of a single family dwelling located in a zoning district where billboards are prohibited.	n/a
(e)	Sensing: A light sensing device shall be used to adjust the brightness as ambient light conditions change to meet the requirements above.	<b>Will be a condition of approval. Specifications required.</b>
(f)	Other: Digital billboards shall also comply with §13-818.D.(4), Billboard / Off-Premise Signs.	<b>See above.</b>

### **Staff Recommendation**

Staff will provide a recommendation following public comment at the meeting.

At a minimum, staff recommends that final Conditional Use Permit approval is contingent upon the following:

1. Applicant shall submit a report to certify information regarding dwell time, transitions, lighting, and sensing of the digital billboard all meet the requirements of the Zoning Ordinance.
2. The digital billboard shall be setback a minimum of 10 feet from any part of billboard to the street right-of-way line or side property line.
3. The digital billboard shall not be permitted to advertise any on premise products, businesses or services.
4. The following shall be strictly prohibited on the digital billboard: personal messages customized for individual motorists, facial recognition, license plate recognition, sequential messaging, messages requesting viewers to send text messages, smells, and sounds (not including the cooling fan).
5. Lighting from the digital billboard shall not affect adjacent properties. If complaints are received, the Conditional Use Permit may be reviewed, more stringent conditions set or possibly revoked, by the Planning and Zoning Commission.
6. The digital billboard display shall be continuously monitored and malfunctioning displays shall be turned off within one (1) hour of the time the malfunction occurs.
7. A Building Permit for the digital billboard shall be obtained within one year of the date of final approval from the Planning and Zoning Commission. Failure to obtain a Building Permit within the one-year timeframe shall require re-submittal of a new application for consideration and approval.
8. All Utility Review Committee comments shall be met.
9. The Goodwill Trailer must be removed from the property, as it is a violation of the sign ordinance.
10. Parking spaces must be striped to match site plan.



# **ATTACHMENT A**

## **CONDITIONAL USE PERMIT APPLICATION**



# CITY OF ROCK SPRINGS CONDITIONAL USE APPLICATION

Planning & Zoning Division  
212 D Street Rock  
Springs WY 82901  
307.352.1540 (phone)  
city\_planner@rswy.net

## City Use Only:

Date Received \_\_\_\_\_ File Number: \_\_\_\_\_

A. **PROJECT/BUSINESS NAME:** YESCO Outdoor Media - Billboard 21461

B. **PROPERTY ADDRESS:** 1150 Dewar Dr, Rock Springs, WY

(IF THE PROPERTY DOES NOT HAVE AN EXISTING ASSIGNED ADDRESS, LEGAL DOCUMENTATION OF THE LOCATION MUST BE SUBMITTED – i.e. Property Tax ID Number, Legal Description, etc.)

## C. CONTACT INFORMATION:

**NOTE: The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.**

### Primary Contact Person (Applicant):

Matt Largent	307-227-0551	mlargent@yesco.com	
Name	Phone Number	Email Address	
139 W 2nd St, Suite 1A	Casper	WY	82601
Mailing Address	City	State	Zip

### Property Owner Information:

Goodwill Industries of Wyoming	307-634-0823	jana.conine@goodwillwy.org	
Name	Phone Number	Email Address	
612 W 17th Street	Cheyenne	WY	82001
Mailing Address	City	State	Zip

### Engineer Information (if applicable):

Engineer's Name	Email		
Company Name	Phone Number	Fax Number	
Mailing Address	City	State	Zip

### Surveyor Information (if applicable):

Surveyor's Name	Email		
Company Name	Phone Number	Fax Number	
Mailing Address	City	State	Zip

**C. CONDITIONAL USE PERMIT(S) REQUESTED (check all that apply):****C.U.P. Requiring  
Planning and Zoning Commission Approval**

- ☐ Adjusted Front Setback
- ☐ Bed and Breakfast Inn
- ☐ Corner Side Yard Attached Carport
- ☐ Detached Garage Exceeding 1,200sf
- ☐ Gas Pumps & Fueling Stations
- ☐ Lot Coverage Exceeding 50%
- ☐ Off-Site Parking
- ☐ Unpaved Parking Area (B-2 Zoning District)
- ☐ Use of Explosives
- ☐ Wireless Communication Facility in Residential Zoning District
- ☒ Other, please specify: Digital Billboard

**C.U.P. Requiring  
Staff Level Approval**

- ☐ Accessory Structure Exceeding Height of Primary Structure
- ☐ Special Purpose Fence
- ☐ Unpaved Parking Area (Industrial)
- ☐ Land Reclamation, Mining, & Soil Processing
- ☐ Garage Exceeding Three (3) Doors
- ☐ Driveway Access Exceeding 65% Street Frontage
- ☐ Sign
- ☐ Other, please specify: \_\_\_\_\_

**D. PLEASE ANSWER THE FOLLOWING ON THE SPACES PROVIDED:**

1. Provide a detailed description of the intended Conditional Use, including proposed use, length of use (permanent or temporary), hours of operation, etc.

YESCO is applying for the intended Conditional Use of a digital billboard at the proposed location pursuant to Article 13-818. The billboard would be a permanent fixture. The proposed billboard will be 35' overall height, double-faced and 288 sq ft per face. The billboard will be a monopole, flag structure.

The intended use will comply with all requirements for digital billboards from the city of Rock Springs and WYDOT.

2. Describe all existing and proposed structures and uses located on this property. **A site plan shall accompany this application.** Please refer to the attached Site Plan Checklist.

There is one existing structure located on the property. It is a warehouse storage facility for Goodwill Industries of Wyoming.

The proposed structure will be a billboard with LED digital faces (12' x 24'). The proposed billboard will be 35' overall height, double-faced and 288 sq ft per face. The billboard will be a monopole, flag structure.

3. Describe the effect of the proposed Conditional Use upon the health, safety, and general welfare of the occupants of surrounding lands, existing and anticipated traffic conditions including parking facilities on adjacent streets and land.

The effect on the proposed conditional health on the health, safety and general welfare of the occupants and surrounding lands will be minimal, if nonexistent. As this is a digital structure, there will not be any effect on existing or anticipated traffic conditions. The only disruption to the parking facility on the property will be during the construction process which will last one week.



**E. SUBMITTAL REQUIREMENTS:**

All items shall be submitted together as a consolidated packet. Incomplete applications will not be reviewed and will be returned to the applicant.

For items requiring review by the Planning and Zoning Commission, the City of Rock Springs must receive the complete application by the submission deadlines found in the "Applicant's Guide to Conditional Use Permits" supplemental handout. Applications submitted after the submission deadlines will be postponed until the following month's Planning & Zoning Commission Meeting.

Initial next to each item to verify that the item is attached to this application:

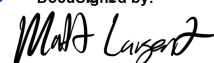
<b>MANDATORY ITEMS:</b>	
	Filing Fee of \$60.00 (Checks made payable to the City of Rock Springs)
	Completed Application (signed by Applicant and Property Owner)
	Two (2) full sized site plan drawings (printed to scale) – see attached Site Plan Checklist
	One (1) reduced site plan (no larger than 11" x 17") – only if full-size site plan is larger than 11" x 17"
<b>OPTIONAL ITEMS (BUT <u>STRONGLY ENCOURAGED</u> TO PREVENT DELAYS IN APPROVAL):</b>	
	Building Elevations / Architectural Drawings
	Floor plans of building interior to show areas of use
	Property photos
	Additional information to support the Conditional Use request

**F. SIGNATURES REQUIRED:****Applicant Certification:**

I, the applicant, hereby certify the following:

- I have read, reviewed and understand the attached Site Plan Checklist, Conditional Use Review Procedures & Submission Deadlines.
- I understand that incomplete applications will not be processed and will result in delays.
- The information provided with this application, and attached information, is true and correct, and false or inaccurate information used by an applicant to secure compliance with the Zoning Ordinance shall be reason to deny or revoke any application or permit.
- I understand that it is the responsibility of the applicant and/or property owner to secure any and all required Local, Federal and State Permits (i.e. Building Permits, DEQ permits, County Permits, etc.) and I agree to contact those agencies accordingly.

Applicant's Signature: \_\_\_\_\_


DocuSigned by:  
  
 0A078401AF8D4AC...

Date: 9/23/2022 | 11:56 AM PDT

**Property Owner Consent:**

By signature hereon, I certify that I am the owner of the property that is the subject of this application and that I have read this application and consent to its filing.

Owner's Signature: \_\_\_\_\_

DocuSigned by:  
  
 1DAA60A186C344C...

Date: 9/26/2022 | 8:18 AM PDT



# CITY OF ROCK SPRINGS SIGN APPLICATION

Planning & Zoning Division  
212 D Street  
Rock Springs WY 82901  
307.352.1540 (phone)  
city\_planner@rswy.net

## City Use Only:

Date Received \_\_\_\_\_ File Number: \_\_\_\_\_

A. PROJECT / BUSINESS NAME: \_\_\_\_\_

B. PROPERTY ADDRESS: \_\_\_\_\_

**(NOTE: IF THE PROPERTY DOES NOT HAVE AN EXISTING ASSIGNED ADDRESS, LEGAL DOCUMENTATION OF THE LOCATION MUST BE SUBMITTED – i.e. Property Tax ID Number, Legal Description, etc.)**

B. CONTACT INFORMATION:

**NOTE:** The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.

### Primary Contact Person (Applicant):

_____ Name	_____ Phone Number	_____ Email Address	
_____ Mailing Address	_____ City	_____ State	_____ Zip

### Property Owner Information:

_____ Name	_____ Phone Number	_____ Email Address	
_____ Mailing Address	_____ City	_____ State	_____ Zip

### Engineer Information:

_____ Engineer's Name	_____ Email		
_____ Company Name	_____ Phone Number	_____ Fax Number	
_____ Mailing Address	_____ City	_____ State	_____ Zip

### Surveyor Information:

_____ Surveyor's Name	_____ Email		
_____ Company Name	_____ Phone Number	_____ Fax Number	
_____ Mailing Address	_____ City	_____ State	_____ Zip

**C. SIGN DEFINITIONS AND SIGN TYPE REQUEST:** The following definitions will assist you in completing this application. **Please review them carefully and then place a mark ✓ next to each sign type you are requesting.**

❖ <u>Sign:</u>	A device designed or intended to convey information to the public in written or pictorial form, including text, figures, numerals, emblems, trademarks, trade names or any combination thereof.	<u>✓</u>
❖ <u>Address / Nameplate Identification Sign:</u>	A sign that identifies the address for each residence and business, provided that, for residential uses said signage shall not exceed two (2) square feet in area and shall not contain the name of any business.	<u>      </u>
❖ <u>Awning Sign:</u>	A sign incorporated into or attached to an awning or canopy. Awnings and canopies shall be considered to be an integral part of the structure to which they are accessory. Signs may be attached to the surface of a canopy or awning and shall be considered a wall sign.	<u>      </u>
❖ <u>Billboard or Off-Premise Sign:</u>	A permanently affixed freestanding sign whereon advertising matter is displayed conspicuously and which advertising does not apply to the premises or any use of the premises upon which the signage is located.	<u>      </u>
❖ <u>Digital Billboard Sign:</u>	An Off-Premise Electronic Message Board Sign. <b>**Requires Conditional Use Permit Approval by the City of Rock Springs Planning &amp; Zoning Commission. Refer to §13-818.D(5)**</b>	<u>      </u>
❖ <u>Electronic Message Board Sign:</u>	A sign with a fixed or changing display/message composed of lights that may be changed through electronic means, but shall not include signage devoted solely to display of time/temperature or fuel pricing. <b>**Requires Conditional Use Permit Approval by the City of Rock Springs Zoning Administrator. Refer to §13-818.D(6)**</b>	<u>      </u>
❖ <u>Flashing Sign:</u>	A sign which sends out a sudden brief light within the time sequence of 10 seconds or less. Flashing signs are prohibited in the City of Rock Springs.	<u>      </u>
❖ <u>Freestanding Sign:</u>	Any sign permanently affixed to the ground but not affixed to a building, except that off-premise signs and electronic message boards shall comply with specific requirements contained in this section.	<u>      </u>
❖ <u>Governmental Purpose Sign:</u>	Any sign erected or authorized to be erected by Director of Engineering & Operations and which performs an expressly governmental purpose. Said signs shall include traffic signs, street signs, trailblazer signs and wayfinding signs.	<u>      </u>
❖ <u>Identification Sign:</u>	A permanent, on-premise, freestanding sign identifying a residential, institutional, public, commercial or industrial development or project and including the name of the development or project.	<u>      </u>
❖ <u>Illuminated Sign:</u>	A sign lighted by or exposed to artificial lighting by lights on, in or directed toward the sign.	<u>      </u>
❖ <u>Internal Sign:</u>	A sign located on the inside of a building, whether or not said sign is visible from the exterior of the building.	<u>      </u>
❖ <u>Interstate Oriented Sign:</u>	A freestanding sign located within 2,500 feet of the center point of any interstate interchange.	<u>      </u>
❖ <u>Moving Sign:</u>	A sign which changes place or position by way of movement. This shall include revolving and rotating signs. Moving signs are prohibited in the City of Rock Springs.	<u>      </u>
❖ <u>Mural Sign:</u>	Any picture, scenery, drawing or diagram painted on any exterior wall or fence that does not contain advertising, e.g. business name, logo, symbols, trademarks, lettering, numerals, etc. Murals determined to be advertising shall be considered a sign and shall be included in the calculations of allowable sign area in those districts where said signage is regulated	<u>      </u>
❖ <u>Political Sign:</u>	A sign identifying and urging voter support for a particular election issue, political party or candidate for public office.	<u>      </u>
❖ <u>Portable Sign:</u>	Any temporary sign not permanently affixed to the ground or a building. Portable signs shall include, but are not limited to, signs mounted or painted upon on a trailer, bench, wheeled carrier, fence or vehicle.	<u>      </u>
❖ <u>Projecting Sign:</u>	Any sign that is attached to and projects perpendicular from the wall or face of a building.	<u>      </u>
❖ <u>Promotional Development Sign:</u>	Signs erected for the purpose of selling or promoting a residential project of ten (10) or more dwelling units or any non-residential project that is under construction. Signage shall include the name of the project and may include the name of the owner, architect, engineer or contractor.	<u>      </u>
❖ <u>Real Estate Sign:</u>	A temporary sign that relates to the sale, lease or rental of an individual property or building.	<u>      </u>
❖ <u>Roof Sign:</u>	Any sign erected upon, against, or directly above a roof or roof eave, or on top or above the parapet, or on a functional architectural appendage above the roof or roof eave.	<u>      </u>
❖ <u>Temporary Sign:</u>	A sign not intended or designed for permanent display.	<u>      </u>
❖ <u>Traffic Directional Sign:</u>	Signage used for the purpose of guiding traffic on-site.	<u>      </u>
❖ <u>Wall Sign:</u>	A sign fastened to or painted on the wall of a building or structure in such a manner that the wall becomes the supporting structure for, or forms the background surface of, the sign and which does not project more than 12 inches from such building or structure.	<u>      </u>



**D. PLEASE PROVIDE THE FOLLOWING INFORMATION:**

**NOTE:** Application will be considered incomplete if any of the following questions are left blank. Please refer to §13-818 of the Rock Springs Zoning Ordinance for regulations related to permitted signage within each Zoning District.

Property

1. Zoning for Property: \_\_\_\_\_
2. Lot Street Frontage (*in feet*): \_\_\_\_\_
3. Distance of proposed sign from nearest intersection (*in feet*): \_\_\_\_\_
4. Distance of proposed sign from nearest residential district (*if illuminated*): \_\_\_\_\_

Existing Signage

1. Number of existing freestanding signs on property: \_\_\_\_\_
2. Sign separation between existing freestanding sign(s) to proposed sign (*in feet*): \_\_\_\_\_
3. Total sign area of existing freestanding signs on property (*in square feet*): \_\_\_\_\_
4. Total sign area of existing wall signs on property (*in square feet, B-3 Zones only*): \_\_\_\_\_

Proposed Signage

1. Sign Area (*see definitions*) of proposed sign (*in square feet*): \_\_\_\_\_
2. Height\*\* of proposed sign: \_\_\_\_\_

**\*\* Conditional Use Permit approval may be required. Refer to §13-818.D\*\***

3. Width of proposed sign: \_\_\_\_\_
4. Vertical clearance of proposed sign: \_\_\_\_\_

Billboards Only

1. Distance to next closest billboard along same side of road: \_\_\_\_\_

Interchange Signs Only

1. Distance to Interchange center point: \_\_\_\_\_
2. Elevation of sign above center point: \_\_\_\_\_

Roof Signs Only

1. Height above parapet of building: \_\_\_\_\_
2. Square area of side of building above which sign will be affixed: \_\_\_\_\_

## E. SUBMITTAL REQUIREMENTS:

The following items are required for submitting a complete Sign Application. An incomplete application will not be reviewed and will be returned to the petitioner.

- ☐ Sign Filing Fee - \$10.00, cash or check made payable to the "City of Rock Springs". **NOTE: For applications proposing multiple signs (e.g. two wall signs and a freestanding sign) on the same property, the \$10 fee covers ALL of the proposed signage.**
- ☐ **IF APPLICABLE** - Conditional Use Permit Filing Fee - \$60.00  
*Applicant may make one payment for \$70 total (\$10 Sign Fee plus \$60 Conditional Use Permit Fee), cash or check made payable to the "City of Rock Springs". Refer to the Conditional Use Permit Application for submittal deadlines and schedule.*
- ☐ 2 (two) copies of a Site Plan depicting the property boundaries, buildings, **location of all existing and proposed free-standing signage**, and adjacent right-of-way areas (see checklist below). Site plan should be submitted on paper no larger than 11" x 17". If submitted on a size larger than 11" x 17", one reduced copy on an 11" x 17" page shall be required.
- ☐ 2 (two) copies of a Sign Diagram depicting the proposed sign area (*in square feet*), height, width, and vertical clearance (see attached checklist). The Sign Diagram should be submitted on paper no larger than 11" x 17".
- ☐ Completed Sign Application Form, including property owner & sign contractor signature(s).

## F. SITE PLAN CHECKLIST

The following items shall be shown on your Site Plan (*check them off as you consider each one*).

- ☐ Name of project / development
- ☐ Location of project / development by street address
- ☐ Location map, including area within one-half mile of site
- ☐ Name and mailing address of owner
- ☐ Name and mailing address of applicant
- ☐ Date of plan preparation
- ☐ North point indicator
- ☐ Scale of not less than 1" to 100'
- ☐ Boundary lines of property with dimensions
- ☐ **Location, identification and dimension of existing and proposed:**
  - ☐ Adjacent streets and street rights-of-way
  - ☐ On-site streets and street rights-of-way
  - ☐ Buildings and structures
  - ☐ Sidewalks, driveways, walkways, loading areas and docks, bikeways
  - ☐ Exterior freestanding signs and billboards
  - ☐ Drainage, utility and other easements

## G. SIGN DIAGRAM CHECKLIST

The following items shall be shown on your Sign Diagram (*check them off as you consider each one*):

- ☐ Name of project / development
- ☐ Location of project / development by street address
- ☐ Name and mailing address of applicant
- ☐ Name and mailing address of property owner
- ☐ Date of diagram preparation
- ☐ Scale
- ☐ **Scaled drawing of sign, including the following:**
  - ☐ Sign dimensions (height & width)
  - ☐ Sign area in square feet, including number of sides
  - ☐ Sign vertical clearance
  - ☐ Hours of illumination

#### H. SIGN – PLANNING REVIEW PROCEDURES:

- 1) Once staff determines an application is complete, a Utility Review meeting may be held to discuss your application, approximately 6-10 days after. Utility Review Meetings are typically scheduled for Tuesday afternoons. It is required that the applicant or a representative attend this meeting. Notice will be sent stating the time, date and location of the meeting. Notices will be sent only to those listed on this application.
- 2) **Signs requiring Conditional Use Permit Approval – refer to the Conditional Use Permit Application.**
- 3) Applicant must make any necessary site plan revisions that are discussed during the Utility Review meeting or provided on the Utility Review Comment Forms.
- 4) After a revised site plan is submitted, planning approval of the site plan may be granted if all comments have been addressed and all issues have been resolved. Applicant will be notified via letter of Site Plan approval.
- 5) Once site plan approval has been granted, applicant may proceed with obtaining necessary building permits.

**NOTE: Sign approval (Planning) does not constitute building permit approval.** Contact the Rock Springs Building Department at (307) 352-1540 for submittal requirements.

#### I. SIGNATURE(S) REQUIRED:

I acknowledge that I have read and understand this application and the pertinent Sign regulations. I further certify that the information provided with this application is true and correct, and false or inaccurate information used by an applicant to secure compliance with the Zoning Ordinance shall be reason to deny or revoke any application or permit. I understand that it is the responsibility of the applicant and/or property owner to secure any and all required Local, Federal and State Permits (i.e. DEC permits, County Permits, etc.) and I agree to contact those agencies accordingly.

Signature of Applicant

*[Handwritten Signature]*

Date

*10/19/22*

Signature of Owner

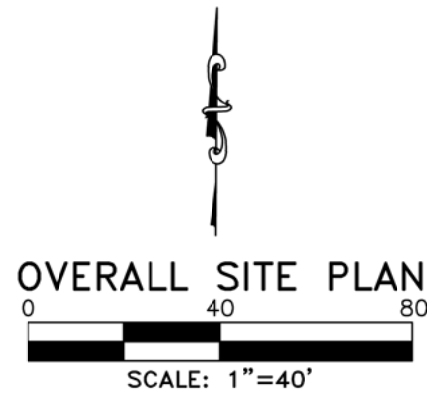
*see CUP Application*

Date



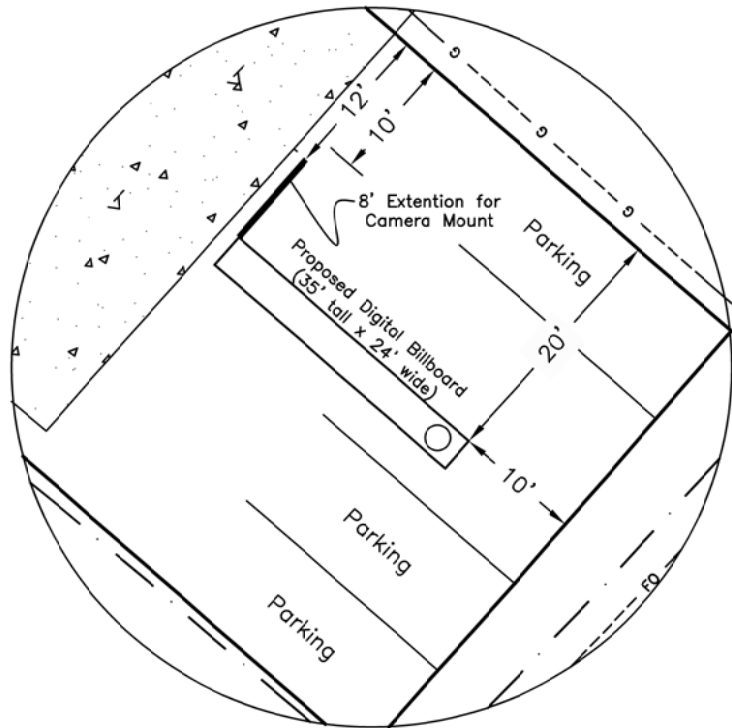
# **ATTACHMENT B**

## **SITE PLAN & PLAN SPECS**



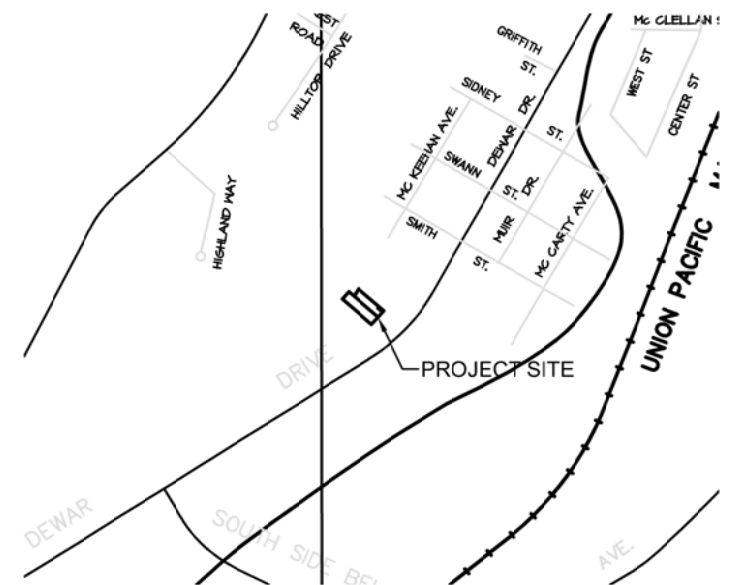
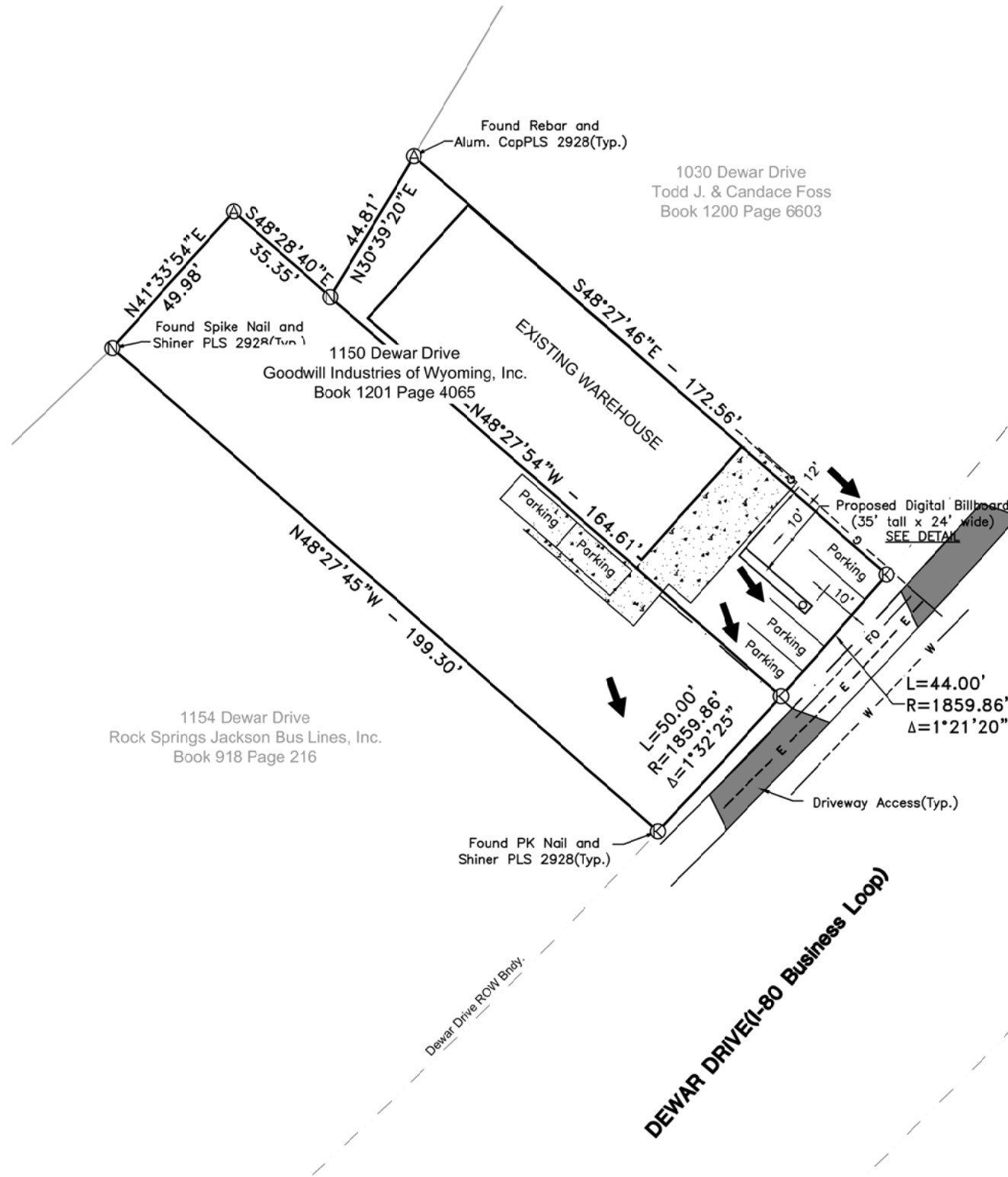
LEGEND

- PROPOSED LEASE BOUNDARY
- E ----- UNDERGROUND ELECTRICAL
- FO ----- UNDERGROUND FIBER OPTIC
- G ----- UNDERGROUND GAS PIPELINE
- W ----- UNDERGROUND WATER LINE
- ➔ DRAINAGE ARROW



DETAIL: 1" = 15'

YESCO OUTDOOR MEDIA  
SITE PLAN - PROPOSED DIGITAL BILLBOARD  
1150 DEWAR DRIVE  
ROCK SPRINGS, WYOMING



VICINITY MAP  
N.T.S.

OWNERSHIP INFORMATION:  
GOODWILL INDUSTRIES OF WYOMING, INC.  
612 W 17TH ST  
CHEYENNE, WY 82001-4343

DEVELOPER/LEASEE:  
YESCO OUTDOOR MEDIA  
1605 S. GRAMERCY ROAD  
SALT LAKE CITY, UT 84104

GENERAL INFORMATION

1. Zoning - B2 Community Business
2. Proposed Digital Billboard Dimensions:  
35' High from grade  
12' (tall) x 24' (wide) Face
3. No designated parking areas on property. 5 proposed parking spaces shown on Site Plan.
4. Project area lies in Zone X - Areas determined to be outside 500-year flood plain on Flood Insurance Rate Map Number 560051 0005 E, which bears an effective date of July 27, 2011.
5. There are no easements in the leased area.

PD BOX 2026  
ROCK SPRINGS, WY 82902  
PHONE (307) 362-7519  
FAX (307) 362-7569  
http://www.jfc-wyo.com

**JFC** ENGINEERS  
SURVEYORS

**811**  
Know what's below.  
Call before you dig.

PROJECT TITLE:  
SITE PLAN - PROPOSED DIGITAL BILLBOARD  
YESCO OUTDOOR MEDIA  
1150 DEWAR DRIVE  
ROCK SPRINGS, WYOMING  
Copyright © by JFC. Reproduction or other use of this drawing is prohibited unless authorized by JFC.

DRAWING TITLE:  
SITE PLAN

DRAWN BY:  
TLW

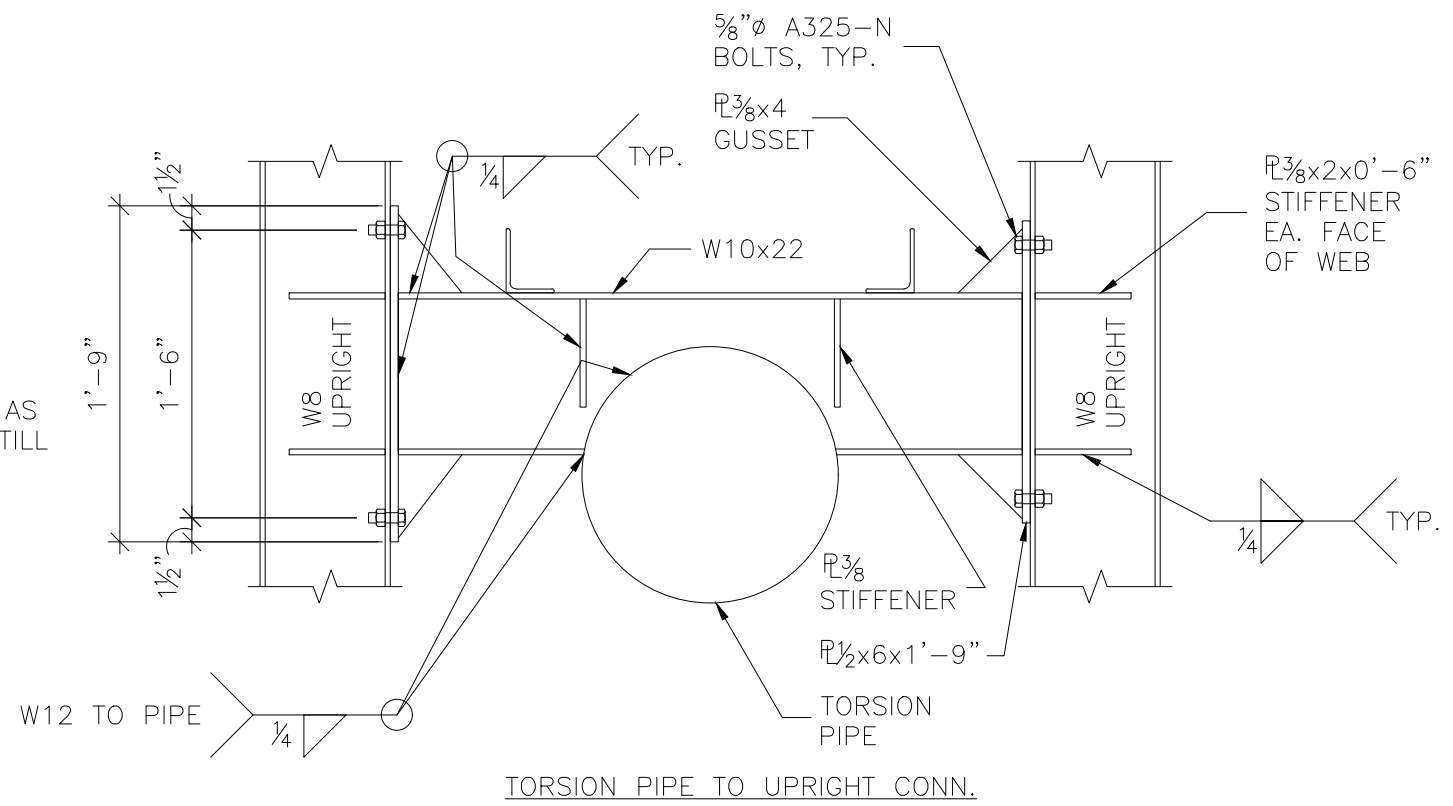
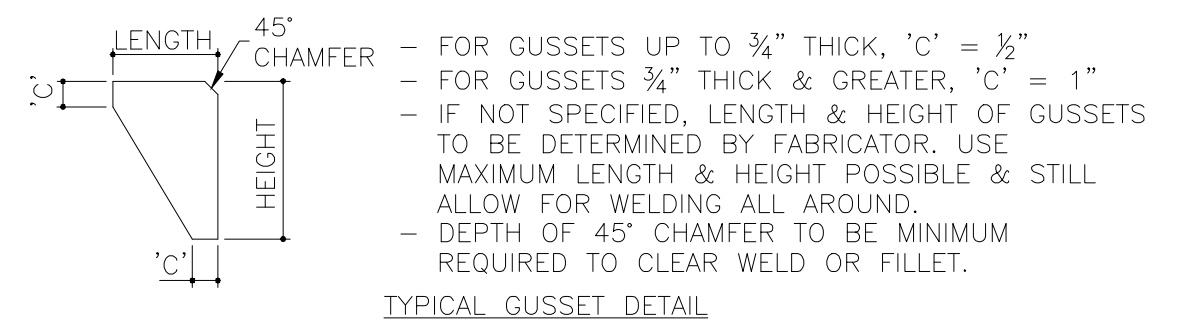
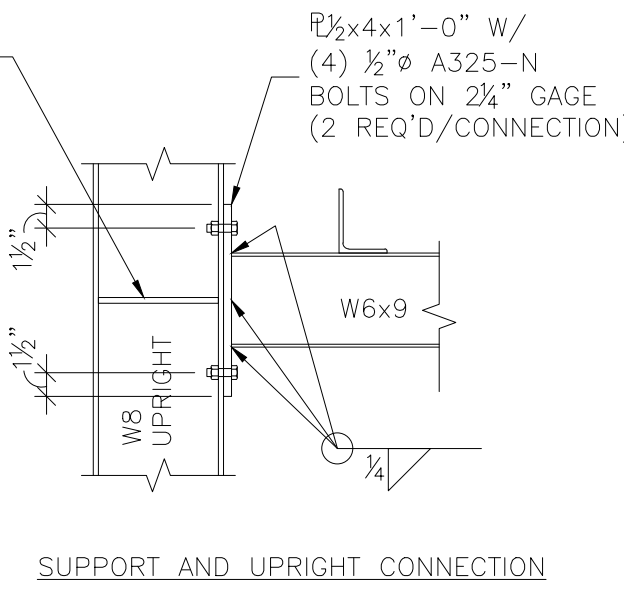
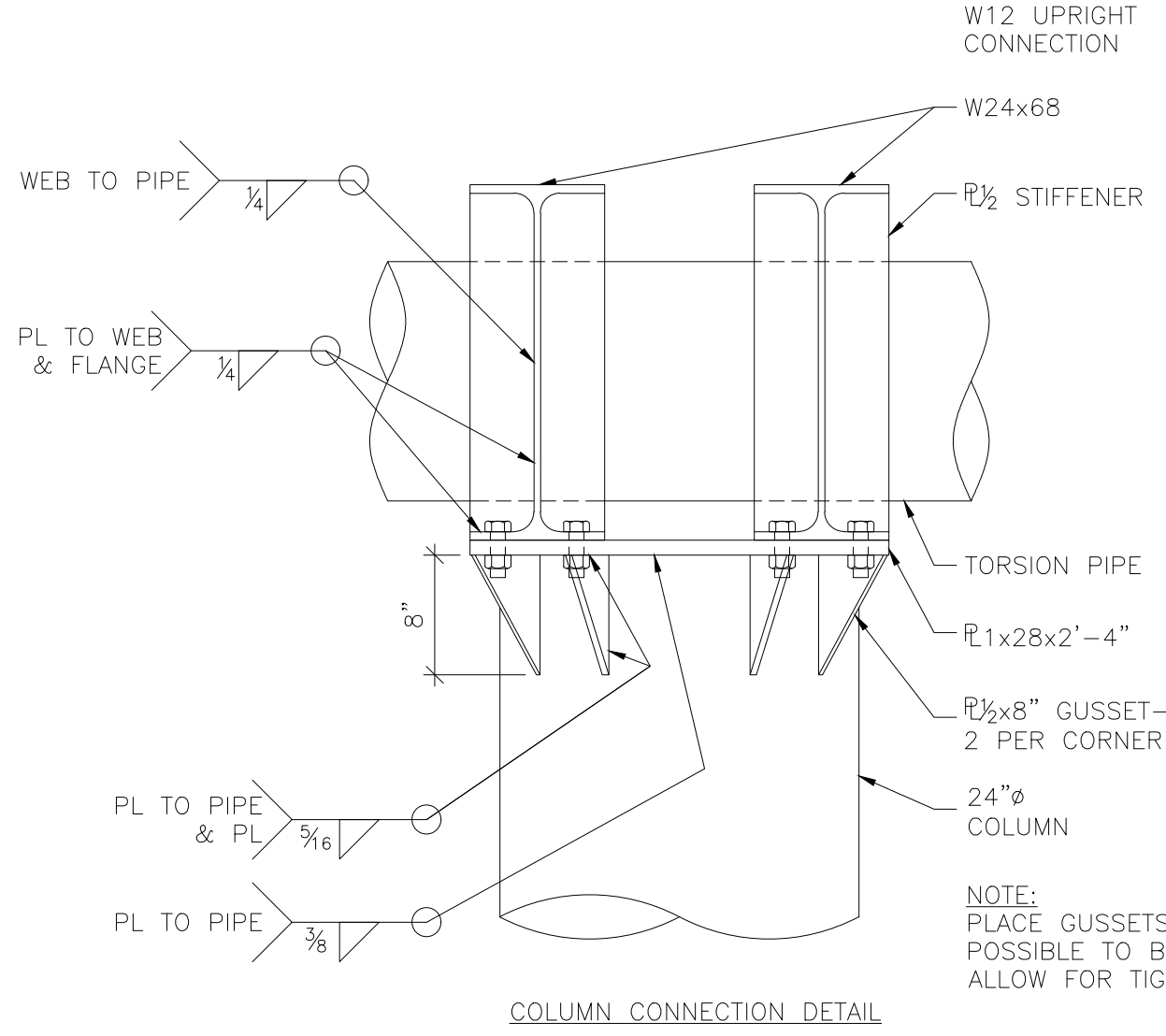
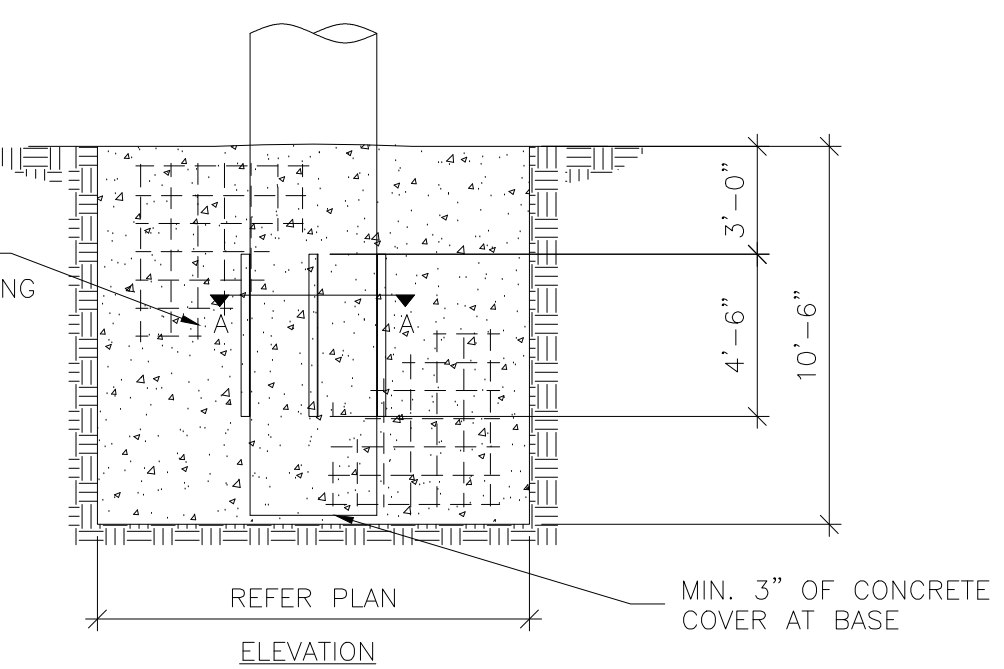
CHECKED BY:  
TAK

SCALE:  
1" = 40'

DATE:  
11/3/22

PROJECT NO:  
11050-22S

SHEET NO:  
1105001



- GENERAL NOTES:
1. GOVERNING CODE: INTERNATIONAL BUILDING CODE 2018 (RISK CATEGORY II, ULTIMATE WIND VELOCITY = 105MPH ).
  2. FOUNDATIONS ARE DESIGNED BASED ON IBC PRESUMPTIVE LOAD BEARING VALUES  
SOIL TYPE: CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT, AND SANDY SILT.  
VERTICAL FOUNDATION PRESSURE:.....1500 PSF  
LATERAL BEARING PRESSURE:.....100 PSF/FT  
CONTRACTOR TO NOTIFY ENGINEER IF SOIL CONDITIONS VARY FROM THOSE LISTED ABOVE.  
\* NOTE: LATERAL BEARING CAPACITY IS INCREASED BY A FACTOR OF TWO FOR WIND DESIGN AS ALLOWED BY IBC 1806.3.4.
  3. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH FEDERAL, STATE, LOCAL CODES/ ORDINANCES, AND O.S.H.A. SAFETY REGULATIONS.
  4. STEEL FRAMING SHALL BE PRODUCED, FABRICATED, AND ERECTED IN ACCORDANCE TO THE 2016 AISC SPECIFICATION AND CODE OF STANDARD PRACTICE.
  5. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING A.S.T.M. REQUIREMENTS AND MINIMUM YIELD STRENGTHS UNLESS NOTED OTHERWISE:  
ALL WIDE FLANGE SHAPES (ASTM A-992).....FY = 50 KSI  
TYPICAL STEEL PIPE (ASTM A-500 GRADE B).....FY = 46 KSI  
HIGH STRENGTH STEEL PIPE (ASTM A-572 GR 50).....FY = 50 KSI  
OTHER SHAPES AND PLATES UNLESS NOTED (ASTM A-36).....FY = 36 KSI  
NOTE: WHERE MINIMUM YIELD STRENGTHS ARE NOTED AND NOT LISTED ABOVE, STEEL SHALL BE WELDABLE AS DETERMINED BY AWS D1.1 AND MEET OR EXCEED THE MINIMUM YIELD STRENGTH SPECIFIED AND WALL THICKNESSES SHALL NOT BE LESS THAN THE SPECIFIED WALL THICKNESS.
  6. ALL BOLTS SHALL BE ASTM A325-N IN STANDARD HOLES WITH SUITABLE WASHERS AND NUTS (UNLESS NOTED OTHERWISE) AND SHALL BE PRETENSIONED USING EITHER TURN-OFF-NUT, A CALIBRATED WRENCH, TWIST-OFF TYPE BOLTS, OR DIRECT TENSION INDICATORS.
  7. ALL WELDING SHALL BE MADE IN ACCORDANCE WITH THE ANSI/AWS "D1.1 – STRUCTURAL WELDING CODE – STEEL", LATEST EDITION. WELDING TO BE PERFORMED BY CERTIFIED WELDERS USING E 70XX ELECTRODES.
  8. STRUCTURAL DOCUMENTS ARE PROTECTED BY USA COPYRIGHT LAWS, AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN CONSTRUCTION OF THE SIGN DESCRIBED IN THIS DOCUMENT AND THE GEOGRAPHICAL LOCATION SHOWN. THE STRUCTURAL DESIGN DESCRIBED IN THIS DOCUMENT IS NOT VALID FOR ANY OTHER PURPOSE, USE, OR LOCATION. ANY DEVIATIONS FROM THIS PRINT SHALL BE APPROVED BY THE ENGINEER.
  9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE FABRICATION OR CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  10. PROVIDE ½" CAP PLATES FOR END OF TORSION PIPE. CAP PLATES TO BE SEAL WELDED, ALL AROUND, TO PIPE.
  11. CATWALKS GRATING TO BE 3.14 P.S.F. EXPANDED METAL GRATING. (WELD GRATING TO CATWALK ANGLES WITH A FILLET WELD, 1" LG. AT 12" C/C)
  12. THIS STRUCTURE IS DESIGNED TO SUPPORT (2) 3,700 LB. DIGITAL BOARDS.
  13. DESIGN AND CONSTRUCTION OF STATIC BOARDS AND ATTACHMENT TO STRUCTURE BY OTHERS.

[illegible]

SIGN LOCATION:  
1150 DEWAR DRIVE  
ROCK SPRINGS, WY 82901  
DRAWING NO: HS22084

---

DATE OCTOBER 03, 2022  
PROJECT # 20223500

HORIZON STRUCTURES LLC  
12'-0"x24" - FULL FLAG  
35' O.A.



September 23, 2022

City of Rock Springs  
Planning & Zoning Division  
212 D Street  
Rock Springs, WY 82901

RE: Digital Billboard Conditional Use Permit Application

To: Rock Springs Planning & Zoning,

On behalf of YESCO Outdoor Media, I am submitting for approval of a conditional use permit for a digital billboard in your city. We have reviewed the Rock Springs City Code, specifically article 13-8, Zone District Regulations, and we believe that our proposed use is in compliance with all of the regulations in that document. Below I have made a list of the regulations and what we are proposing.

- a) Area: Our sign will have a face of 288 square feet and be double faced
- b) Height: We are proposing 35' overall height of the billboard.
- c) Clearance: There will be 20' of clearance to the bottom of the billboard
- d) Number: This will be the only billboard on the property
- e) Location: To our knowledge, there are no issues with the billboard in the proposed location.
- f) Setback: All portions of the billboard will be setback 10' as required
- g) Separation: This sign is more that 1,500' from another billboard on the same side of the road.

Furthermore, we will be in full compliance with the additional requirements for digital billboards.

- a) We do not find that this billboard will cause any adverse impacts on traffic and does not interfere with an official traffic sign. The billboard does not block views of any historic structure, public park, cemetery, playground, or significant landmark.
- b) Dwell time: YESCO will comply with dwell time.
- c) Transitions: We employ immediate transitions which happen within a fraction of a second

**YESCO Outdoor Media**

866-779-8357 » Phone

1605 S Gramercy Road  
Salt Lake City, Utah 84104

[yesco.com](http://yesco.com)

- d) Lighting: YESCO will fully comply with the lighting requirements. Our signs are equipped with multiple redundant systems to ensure that the brightness level remains compliant.
- e) Sensing: Our signs are equipped with photocells and other redundant systems to ensure the brightness is correct
- f) Other: As noted above, we believe our sign will be compliant with all of the requirements for Billboard/Off-Premise Signs.

We are very appreciative of you taking the time to review our application. As noted above, we believe that our project is in compliance with the City's regulations and we humbly request that our CUP application be approved.

If staff or any member of the Planning & Zoning Commission should have any questions regarding our project prior to the hearing, please do not hesitate to contact me personally.

Sincerely,



Matt Largent  
Regional Manager, Wyoming  
YESCO Outdoor Media  
mlargent@yesco.com | 307-227-0551









**ATTACHMENT C**

**ADJACENT PROPERTY OWNER LETTER**



October 28, 2022

Project #: PZ-22-00425

Dear Property Owner / Interested Party:

This letter is to inform you that Matt Largent, representing YESCO, has submitted a request for **Conditional Use Permit** approval to construct a new digital billboard on property located at 1150 Dewar Drive, Rock Springs, Wyoming. Records show that this property is adjacent to or near property you own (see map below). Specifically, the Conditional Use Permit request is for the following:

- 1) A new **Digital Billboard**, 288 square feet, please refer to the attached diagram.
- 2) The Digital Billboard is proposed to have a total **height of 35 feet**.
- 3) The Digital Billboard will be **collocated with another use** on the property.

In accordance with §13-818.D of the Rock Springs Zoning Ordinance, Conditional Use permit approval by the Planning and Zoning Commission is required for digital billboards located in the B-2 (Community Business) Zoning District.

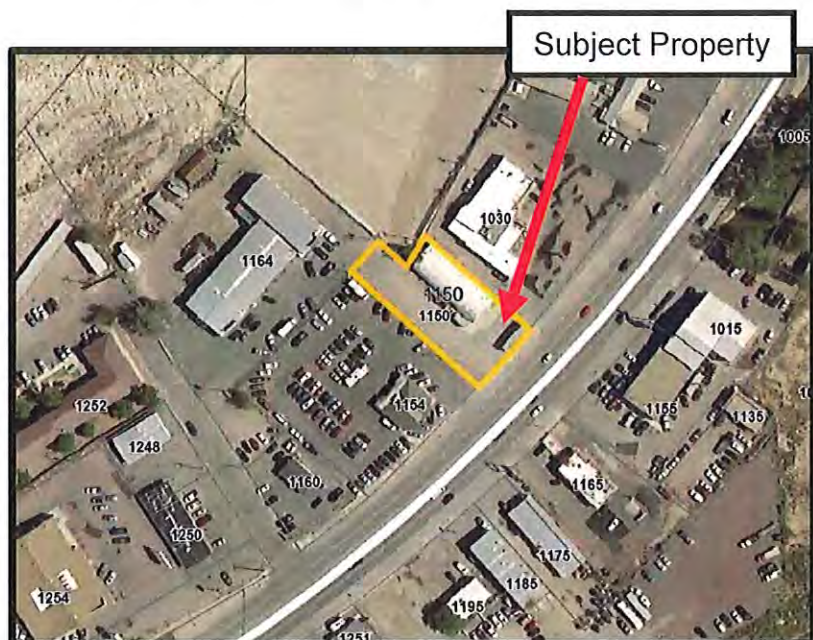
The Rock Springs Planning and Zoning Commission will consider this request at a public meeting held on Wednesday, November 9, 2022 at 7:00 p.m. in the Rock Springs City Hall Council Chambers. Interested persons or parties are encouraged to attend the meeting or submit written comments. Written comments can be mailed or hand delivered to the address above or emailed to [city\\_planner@rswy.net](mailto:city_planner@rswy.net). Written comments will be accepted no later than 5:00 p.m. on Tuesday, November 8, 2022.

Sincerely,



Cathy Greene  
City Planner

Enc.







**YESCO Outdoor Media**  
866-779-8357 » Phone  
1605 S Gramercy Road  
Salt Lake City, Utah 84104

[yesco.com](http://yesco.com)

# **ATTACHMENT D**

## **COMMENT RECEIVED**



Cathy Greene <cathy\_greene@rswy.net>

---

## Project #PZ-22-00425

2 messages

---

**Dave Eby** <dave@anglerslodge.net>

Mon, Oct 31, 2022 at 11:21 PM

To: city\_planner@rswy.net

To whom it may concern

My name is Dave Eby owner of Country West Motel at  
1004 Dewar Dr.

Rock springs, Wyo

I'm writing to adamantly oppose the permitting of a digital billboard sign so close to our motel.

The lights from the sign would create a huge disruption to our guests as it would run 24/7 and create bright lights throughout the night disrupting our guest from being able to enjoy a peaceful stay without the bright lights from the proposed sign while at our property.

The small digital sign on the horses and Harley's property next door to the motel is already a huge disturbance and nuisance to guest who complain often.

Please join me in rejecting the proposed new sign as it will surely have a huge negative impact on our business.

Thank you

Dave Eby

Country West Motel

1004 Dewar Dr.

Rock Springs, Wyoming

Sent from my iPhone

---

**Cathy Greene** <cathy\_greene@rswy.net>

Tue, Nov 1, 2022 at 8:13 AM

To: Dave Eby <dave@anglerslodge.net>

Received, thank you for your input on this project, your comments will be included in the staff report presented to the P&Z Commission.

Regards,

[Quoted text hidden]

--

*Cathy Greene, City Planner*

Departments of Engineering / Operations & Public Services



# **ATTACHMENT E**

## **UTILITY REVIEW COMMENT FORMS**



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy\_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00425
Project Name:	YESCO - Digital Billboard
Address/Location:	1150 Dewar Drive
Description:	Digital billboard as secondary use on property. Conditional Use Permit by Planning and Zoning Commission required.



If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Cathy Greene (name) have reviewed the plans on behalf of Planning & Zoning (Dept./Organization) for the above-referenced project.

Email: cathy\_greene@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☒ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

Provide overall width (from birds eye view) of the billboard to determine if setbacks are met.

Site must have a minimum of 5 parking spaces (1 per 1000sf of warehouse and 1 per employee). 9' x 20'

The 10' side setback is not met (or the site plan is not to scale), please show accurate size of billboard and setbacks.

Add note stating there are no easements in the leased area (or show any easements if they exist).

Show driveway access.

- ☒ Other Comments/Issues (attach separate sheet if necessary):

"Goodwill" trailer must be removed from property (for parking and signage requirements).

Provide copy of lease.

A certified report must be provided to confirm dwell time, transitions, lighting, and sensing are all in accordance with the ordinance, after installation + programming.

Conditional use permit approval must be obtained from P&Z for this being a secondary use on property and a digital billboard.

No on site advertising.

- ☒ Please provide me with a copy of the Revised Plans for review.

Cathy Greene  
Signature of Reviewer

11/1/22  
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy\_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00425
Project Name:	YESCO - Digital Billboard
Address/Location:	1150 Dewar Drive
Description:	Digital billboard as secondary use on property. Conditional Use Permit by Planning and Zoning Commission required.



If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Christy Austin (name) have reviewed the plans on behalf of Rocky Mtn Power (Dept./Organization) for the above-referenced project.

Email: christy.austin@pacifiCorp.com Phone #: 307-352-5213

Please check as applicable:

- ☐ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

there is no power here

phase call 888-221-7670 to request power for the billboard.

☐ Please provide me with a copy of the Revised Plans for review.

[Signature]  
Signature of Reviewer

10/26/22  
Date





Cathy Greene <cathy\_greene@rswy.net>

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## Utility Review - YESCO Digital Billboard - 1150 Dewar Drive

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Darin Kaufman <darin.kaufman@wyo.gov>  
To: "Greene, Cathy" <cathy\_greene@rswy.net>

Wed, Oct 26, 2022 at 9:45 AM

Cathy,  
please see comments below from WYDOT R/W - Outdoor Advertising program..

Thank you.  
Darin Kaufman, P.E., PTOE  
WYDOT District 3 Traffic Engineer  
[3200 Elk Street](#)  
[Rock Springs, WY 82902](#)  
[Office: 307.352.3034](#)  
[Cell: 307.389.0235](#)

----- Forwarded message -----

From: **Ken Dejersey** <[ken.dejersey@wyo.gov](mailto:ken.dejersey@wyo.gov)>  
Date: Wed, Oct 26, 2022 at 9:42 AM  
Subject: Re: Utility Review - YESCO Digital Billboard - [1150 Dewar Drive](#)  
To: Darin Kaufman <[darin.kaufman@wyo.gov](mailto:darin.kaufman@wyo.gov)>

Good morning Darin,

This portion of Highway is on the NHS. So, it will need to have a WYDOT issued permit before any construction takes place. This structure must also be at least 100' away from any other off-premise sign structure on the same side of the highway. I have not spoken with any of YESCO's representatives concerning this structure. Also all rules and regulations from the local municipalities must be taken care of as well. Digital signs in urban areas are allowed by WYDOT, but still subject to whatever rules and regulations the local municipalities have in place concerning this.

Thank You

On Wed, Oct 26, 2022 at 9:20 AM Darin Kaufman <[darin.kaufman@wyo.gov](mailto:darin.kaufman@wyo.gov)> wrote:

Ken,

Do you have any comments on this proposed billboard within the urban limits of Rock Springs?

Send any comments you may to me and I will pass it along.

Thank you.

Darin Kaufman, P.E., PTOE

WYDOT District 3 Traffic Engineer

[3200 Elk Street](#)

[Rock Springs, WY 82902](#)

[Office:](#) 307.352.3034

[Cell:](#) 307.389.0235

[Quoted text hidden]

E-Mail to and from me, in connection with the transaction of public business, is subject to the Wyoming Public Records Act and may be disclosed to third parties.

E-Mail to and from me, in connection with the transaction of public business, is subject to the Wyoming Public Records Act and may be disclosed to third parties.

E-Mail to and from me, in connection with the transaction of public business, is subject to the Wyoming Public Records Act and may be disclosed to third parties.



**Department of Public Services/Planning**

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy\_greene@rswy.net

**UTILITY REVIEW - COMMENT SHEET**

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00425
Project Name:	YESCO - Digital Billboard
Address/Location:	1150 Dewar Drive
Description:	Digital billboard as secondary use on property. Conditional Use Permit by Planning and Zoning Commission required.

**MEETING**  
**2:00 p.m.**  
**NOVEMBER 1, 2022**

If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Nichole Jensen (name) have reviewed the plans on behalf of Tesoro Logistics Northwest Pipeline LLC (Dept./Organization) for the above-referenced project.

Email: ndjensen@marathonpetroleum.com Phone #: 307-922-2218

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Nichole Jensen  
Signature of Reviewer

10/26/2022  
Date





Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy\_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00425
Project Name:	YESCO - Digital Billboard
Address/Location:	1150 Dewar Drive
Description:	Digital billboard as secondary use on property. Conditional Use Permit by Planning and Zoning Commission required.



If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Clint Zambai (name) have reviewed the plans on behalf of RS Water  
(Dept./Organization) for the above-referenced project.

Email: \_\_\_\_\_ Phone #: 307-352-1405

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

  
\_\_\_\_\_  
Signature of Reviewer

10/28/2022  
\_\_\_\_\_  
Date

**Department of Public Services/Planning**

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy\_greene@rswy.net

**UTILITY REVIEW - COMMENT SHEET**

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00425
Project Name:	YESCO - Digital Billboard
Address/Location:	1150 Dewar Drive
Description:	Digital billboard as secondary use on property. Conditional Use Permit by Planning and Zoning Commission required.

MEETING  
2:00 p.m.  
NOVEMBER 1, 2022

If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Justin Stewart (name) have reviewed the plans on behalf of WRF  
(Dept./Organization) for the above-referenced project.

Email: justin\_stewart@rswy.net Phone #: 307-352-1466

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Justin Stewart

Digitally signed by Justin Stewart  
Date: 2022.10.31 15:09:37 -06'00'

Signature of Reviewer

10/31/2022

Date





Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

UTILITY REVIEW - COMMENT SHEET

To:	Previous Responding Utility Review Committee Members
From:	Cathy Greene, City Planner
Date:	October 19, 2022
Project #:	PZ-22-00384
Project Name:	Resubmission of MPA and Zone Change
Address/Location:	North of Stagecoach, East of Foothill
Description:	Applicant withdrew previous application after September P&Z, resubmitted addressing concerns.

NO MEETING  
COMMENTS  
ONLY

There will be no meeting for this item, therefore, please provide detailed comments below. Please submit your Comment Sheet by 5:00 p.m. on WED., OCT. 26, 2022. Thank you!

I Christy Austin (name) have reviewed the plans on behalf of Pacific Power (Dept./Organization) for the above-referenced project.

Email: Christy.austin@pacificorp.com Phone #: 307-352-5213

Please check as applicable:

☒ No issues - plans approved as submitted.

☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Christy Austin  
Signature of Reviewer

10/21/22  
Date





Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy\_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00425
Project Name:	YESCO - Digital Billboard
Address/Location:	1150 Dewar Drive
Description:	Digital billboard as secondary use on property. Conditional Use Permit by Planning and Zoning Commission required.

**MEETING**  
**2:00 p.m.**  
**NOVEMBER 1, 2022**

If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Meghan Jackson (name) have reviewed the plans on behalf of Engineering Dept.  
(Dept./Organization) for the above-referenced project.

Email: meghan\_jackson@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

  
Signature of Reviewer

11/1/2022  
Date



Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy\_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00425
Project Name:	YESCO - Digital Billboard
Address/Location:	1150 Dewar Drive
Description:	Digital billboard as secondary use on property. Conditional Use Permit by Planning and Zoning Commission required.

MEETING  
2:00 p.m.  
NOVEMBER 1, 2022

If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Nathan Reese (name) have reviewed the plans on behalf of Rock Springs Fire Department (Dept./Organization) for the above-referenced project.

Email: nathan\_reese@rswy.net Phone #: 307-352-1484

Please check as applicable:

- ☒ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☐ Other Comments/Issues (attach separate sheet if necessary):

☐ Please provide me with a copy of the Revised Plans for review.

Nathan Reese

Signature of Reviewer

10/27/2022

Date





Department of Public Services/Planning

212 'D' Street, Rock Springs, WY 82901

Tel: 307-352-1540

Cathy Greene, City Planner

Email: cathy\_greene@rswy.net

UTILITY REVIEW - COMMENT SHEET

To:	Utility Review Committee
From:	Cathy Greene, City Planner
Date:	October 25, 2022
Project #:	PZ-22-00425
Project Name:	YESCO - Digital Billboard
Address/Location:	1150 Dewar Drive
Description:	Digital billboard as secondary use on property. Conditional Use Permit by Planning and Zoning Commission required.



If you cannot attend the meeting, please submit this comment sheet prior to the scheduled meeting time. If you attend the meeting, please finalize your comments and submit your comment sheet by 5:00 p.m. on the day of the meeting. Thank you!

I Jeff Tuttle (name) have reviewed the plans on behalf of Building Inspection (Dept./Organization) for the above-referenced project.

Email: jeff-tuttle@rswy.net Phone #: 307-352-1540

Please check as applicable:

- ☐ No issues - plans approved as submitted.  
☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

☒ Other Comments/Issues (attach separate sheet if necessary):

A building permit is required for construction and will be issued once all fees are paid and plan review is complete. Plans for the project must be designed in compliance with the 2021 IBC with a wind load of 115 mph exposure. Currently plans do not comply with those standards.

☐ Please provide me with a copy of the Revised Plans for review.

Jeff Tuttle  
Signature of Reviewer

11/1/22  
Date



October 2022 Project Report

Project	Name	Classification	Address	Submit	Approve/Close	Work Description	Status
PZ-22-00432	Nyna Arts	Occupation Tax	2441 FOOTHILL BLVD	10/31/2022	10/31/2022	Seasonal sales of items at kiosk in mall for holidays: Alpaca ponchos, bracelets, backpacks, jackets, dream catchers, toys	PENDING
PZ-22-00435	Fairway Independent Mortgage Corporation	Occupation Tax	79 WINSTON DR	10/31/2022		Mortgage Lender Office	PENDING
PZ-22-00431	Top Hat Leasing - Zoning Inquiry	Administration	2641 FOOTHILL BLVD	10/26/2022		Looking to find out how he can build a mixed use (residential upstairs) in the B-2 Zoning District	PENDING
PZ-22-00429	New Home - Old Lot	Residential SF Detached Dwelling W/Attach Gar	XYZ NO STREET	10/26/2022		proposing construction of a new SF home on a vacant lot in The Village Sub that has never been developed (used as storage for years).	PENDING
PZ-22-00428	Klondike Gifts	Occupation Tax	2441 FOOTHILL BLVD	10/25/2022	10/26/2022	seasonal Alaskan gifts located in the same unit at White Mtn Mall	APPROVED
PZ-22-00422	Krone Diesel	Occupation Tax	2109 UPLAND ST	10/24/2022	11/02/2022	Diesel Semi Trailer Repair	APPROVED
PZ-22-00419	Krone Towing & Recovery LLC	Conditional Use Permit (PZ)	2109 UPLAND ST	10/24/2022		Towing and recovery	PENDING
PZ-22-00420	Krone Towing & Recovery LLC	Occupation Tax	2109 UPLAND ST	10/24/2022		24/7 Towing & Recovery - Pending CUP approval by P&Z	PENDING
PZ-22-00423	Heavenly Scent Janitorial	Occupation Tax	5020 SPRINGS DR	10/24/2022	10/31/2022	Cleaning and Janitorial Services	APPROVED
PZ-22-00424	Heavenly Scent Janitorial	Home Occupation Permit	5020 SPRINGS DR	10/24/2022	10/31/2022	Cleaning and Janitorial Services	APPROVED
PZ-22-00426	Interstate Oriented Sign - Studio 6 Extended Stay	Floodplain Development Permit	1635 ELK ST	10/24/2022	10/27/2022	New construction of an "interstate oriented" sign with the floodplain	APPROVED
PZ-22-00427	Studio 6 Extended Stay Interstate Oriented Sign	Sign Permit	1635 ELK ST	10/24/2022	10/27/2022	Construct a new interstate oriented sign in the floodway	APPROVED
PZ-22-00425	Digital Billboard	Sign Permit & Conditional Use Permit (PZ)	1150 DEWAR DR	10/24/2022		new digital billboard on leased area	PENDING
PZ-22-00430	Mt West Fuel / Dominion / Questar	Administration	1005 D ST	10/19/2022		Address assignments for each building	PENDING
PZ-22-00421	Wevolve Counseling	Occupation Tax	1471 DEWAR DR	10/19/2022	10/24/2022	Mental Health Counseling Agency	APPROVED
PZ-22-00418	Lola B Boutique LLC	Occupation Tax	648 PILOT BUTTE AVE	10/19/2022		Women & men clothing boutique / accessories - was operating as a mobile vendor, converting to brick & mortar	PENDING
PZ-22-00415	Between The Lines	Occupation Tax	608 DEWAR DR	10/17/2022	11/01/2022	Bar transportation and shuttle service, 2 shuttle busses in use to only be located at 165 Gannett Drive when not in operation.	APPROVED
PZ-22-00416	Between The Lines	Home Occupation Permit	608 DEWAR DR	10/17/2022	11/01/2022	Bar transportation and shuttle service, 2 shuttle buses will be in use. HOME OFFICE ONLY - buses to be located in the County at 165 Gannett Drive	APPROVED
PZ-22-00414	Fetal Fotos 307	Occupation Tax	548 BROADWAY ST	10/14/2022	10/25/2022	Fetal fotos ultrasounds in 3D, 4D, HD Live, gender pictures, prenatal massages, professional pictures	APPROVED
PZ-22-00412	Deck Replacement	Residential Decks, Porches, Retaining Walls	206 JADE ST	10/13/2022	10/13/2022	replace an existing deck 20.5 feet in width and 9' deep	APPROVED
PZ-22-00413	Between the Lines - See PZ-22-00415	Administration	608 DEWAR DR	10/12/2022	11/02/2022	Business License - finding a workable solution for the applicant. Bus operation not allowed as Home Occup and B-R doesn't allow access off non	PENDING
PZ-22-00411	Honnen Equipment	Sign Permit	2670 YELLOWSTONE RD	10/12/2022		Reface one 8' x 4' wall sign	PENDING
PZ-22-00410	Sweet Little Smiles Daycare	Occupation Tax	1220 9TH ST	10/12/2022	10/14/2022	Childcare services and preschool	APPROVED
PZ-22-00409	Nell's	Sign Permit	204 ELK ST	10/10/2022	10/10/2022	16'x8' Wall Sign on Elk Street side of buildings 8' x 4' on Evans Street side of building	APPROVED
PZ-22-00417	Fence Replacement - No Permit Needed	Administration	1002 VERMONT ST	10/10/2022	10/19/2022	contacted property owner for no permit, worked with them to determine they were replacing existing 6' fence. This is 5' shy of the 40' vision tri	CLOSED
PZ-22-00407	Special Purpose Fence	Conditional Use Permit (Staff)	422 P ST	10/07/2022	10/25/2022	6' Vinyl and 3' 50% vinyl Picket Fence on top of existing retaining wall ranging in height from 10" to 40" per attached site plan	APPROVED
PZ-22-00408	Taxes by Tiffany, LLC	Occupation Tax	617 BROADWAY ST	10/07/2022	10/11/2022	Tax preparation services.	APPROVED
PZ-22-00403	AJ's Delivery	Occupation Tax	36 BLAIR AVE	10/06/2022	10/10/2022	Personal delivery service	APPROVED
PZ-22-00404	AJ's Delivery	Home Occupation Permit	36 BLAIR AVE	10/06/2022	10/10/2022	Personal Delivery Service	APPROVED
PZ-22-00405	Nell's	Occupation Tax	204 ELK ST	10/06/2022	10/10/2022	Coffee Shop	APPROVED
PZ-22-00406	Home Depot - Tool Rental Center	Minor Site Plan	1925 FOOTHILL BLVD	10/06/2022	10/25/2022	tool rental center, interior remodel , exterior fenced storage and parking areas.	APPROVED
PZ-22-00402	Maverik Store	Preliminary Review	XYZ NO STREET	10/05/2022	10/28/2022	Proposed subdivision and major site plan.	PENDING
PZ-22-00400	Ulta Beauty	Occupation Tax	2441 FOOTHILL BLVD	10/04/2022		Retail sale of products and salon services.	PENDING
PZ-22-00398	Arctic Sweets	Occupation Tax	216 VAN BUREN ST	10/03/2022	10/11/2022	Make and sell freeze-dried candy, fruit, and veggies.	APPROVED
PZ-22-00399	Arctic Sweets	Home Occupation Permit	216 VAN BUREN ST	10/03/2022	10/11/2022	Make and sell freeze-dried candy, fruit, and veggies.	PENDING
PZ-22-00401	Sage View Care Center	Zoning Certification	1325 SAGE ST	10/03/2022	10/05/2022	Request for Zoning Verification	CLOSED
PZ-22-00397	Spa-Tacular Suiets LLC	Occupation Tax	756 PILOT BUTTE AVE	10/03/2022	10/11/2022	Change of name from Hair Candy to Spa-Tacular Suiets - Salon offering hair and skin care	APPROVED
PZ-22-00394	JC Jacobs Carpet One	Occupation Tax	1447 DEWAR DR	09/30/2022	10/04/2022	Change of Business Location - Retail sales of floor coverings.	APPROVED
PZ-22-00392	Sweetwater Music Keys	Occupation Tax	2724 COMMERCIAL WAY	09/28/2022	10/04/2022	Music education for all ages.	APPROVED
PZ-22-00393	Becky's Craftroom	Occupation Tax	2441 FOOTHILL BLVD	09/28/2022	10/04/2022	Paper craft supplies and craft classes.	APPROVED
PZ-22-00383	Special Purpose Fence	Conditional Use Permit (Staff)	1908 BACHELORS DR	09/15/2022	10/03/2022	3' and 6' vinyl fence on top of 2' to 9' retaining wall	APPROVED
PZ-22-00359	Frankie's Silver Linings	Occupation Tax	440 5TH ST	09/13/2022	10/06/2022	Upcycled furniture and art, thrift flips and gifts.	APPROVED
PZ-22-00353	ATC 410786 - T-Mobile Modifications	Wireless Telecommunications Facility	1600 W 2ND ST	09/07/2022	10/06/2022	Removal and replacement of existing transmission equipment.	APPROVED
PZ-22-00343	Steed Metals	Major Site Plan and Conditional Use Permit (PZ)	3029 KILLPECKER DR	08/25/2022	10/21/2022	Scrap metal or used materials processing, handling, and storage facilities - Also staff CUP for gravel surface	APPROVED
PZ-22-00276	Research 213 K Street	Administration	213 K ST	06/13/2022	10/06/2022	research request from Northern title	CLOSED