



**PLANNING AND ZONING COMMISSION  
MEETING AGENDA**

December 11, 2019

7:00 p.m.

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**ROLL CALL**

**APPROVAL OF MINUTES**

1. Review and approval of the November 13, 2019 Planning & Zoning Commission Meeting Minutes.

**ACCEPTANCE OF STAFF REPORTS AND CORRESPONDENCE**

1. Review and acceptance of all staff reports and correspondence into the record.

**PUBLIC HEARINGS**

1. Request to amend the 2012 Master Plan Land Use Map from PRE to LDR and amend the Official Zoning Map from R-1 to R-2, property addressed as 200 Willow Street, submitted by Phillip Stanton. (Project # PZ-19-00339, Staff Representative: Laura Leigh, City Planner)
2. Request for Preliminary Plat approval for the College Estates Subdivision, located southwest of the College Drive and Stagecoach Blvd. intersection, filed by Gerhard Tschabitzer of 1<sup>st</sup> Arrow Corporation. (Project # PZ-19-00346, Staff Representative: Laura Leigh, City Planner)
3. Request to amend the 2012 Master Plan Land Use Map from C to LDR and amend the Official Zoning Map from B-2 / B-2(CD) to R-1, property located southwest of the College Drive and Stagecoach Blvd. intersection, filed by Gerhard Tschabitzer of 1<sup>st</sup> Arrow Corporation. (Project # PZ-19-00347, Staff Representative: Laura Leigh, City Planner)

**UNFINISHED BUSINESS**

1. None

**NEW BUSINESS**

1. Request for Conditional Use Permit Approval, submitted by Marlene Chavez, for the construction of an oversized detached garage on property addressed as 1220 Winchester Blvd. (Project # PZ-19-00342, Staff Representative: Laura Leigh, City Planner)

**NOTIFICATION OF MINOR SITE PLANS AND STAFF APPROVED CONDITIONAL USE PERMITS**

1. None

**PETITIONS AND COMMUNICATIONS**

1. Written petitions and communications.
  - a. Update on City Council actions
2. Petitions and communications from the floor.

**ADJOURNMENT**

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**PLANNING AND ZONING  
COMMISSION MINUTES  
November 13, 2019  
Wednesday, 7:00 p.m.  
City Hall, Rock Springs, Wyoming**

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Commissioners Present:	Chairman Matt Jackman Gary Collins Dan Kennedy Justin Lemon Blake Manus	Sue Lozier Kevin Hardesty Emily Lopez Ken Fortuna
Staff Present:	Laura Leigh, City Planner Cathy Greene, Senior Administrative Planning Tech	

**CALL TO ORDER**

Chairman Jackman called the meeting to order at 7:00 p.m.

**ROLL CALL**

After roll call it was determined that a quorum was present to proceed. Chairman Jackman asked for a motion to amend the agenda to elect a vice chairman.

Commissioner Lozier: Motion to amend the agenda to add election of officers  
Commissioner Lemon: Second

Vote: All in favor, motion carried unanimously.

**APPROVAL OF MINUTES**

Chairman Jackman asked the Commission for any corrections or additions to the Minutes from the October 9, 2019, Planning and Zoning Commission Meeting.

With no corrections or additions, Chairman Jackman asked for a motion to accept the Minutes as presented.

Commissioner Kennedy: Motion to approve the Minutes as presented.  
Commissioner Lopez: Second.  
Vote: All in favor, motion carried unanimously.

**ACCEPTANCE OF STAFF REPORTS AND CORRESPONDENCE**

Chairman Jackman asked for a motion to accept all correspondence and Staff Reports into the record.

Commissioner Hardesty: Motion to accept all correspondence and Staff Reports into the record.  
Commissioner Lozier: Second.  
Vote: All in favor, motion carried.

**PUBLIC HEARINGS**

- 1) Petition for PUD Development Plan approval for the Sweetwater Station Planned Unit Development, submitted by Rob DeBernardi of 4D Development and represented by Dan Kennedy (JFC Engineers and Surveyors). (Project #: PZ-19-00328, Staff Representative: Laura Leigh, City Planner)**

**Dan Kennedy abstained from this item.**

**Staff Report**

Ms. Leigh presented the Staff Report dated November 4, 2019, gave history of the Rural Estates Zone, and an explanation of Planned Unit Developments, to the Commission.

Cathy Greene read letters received into the record.

Ms. Leigh stated she will wait until after the public comment period to make her formal recommendation, however at a minimum that all of the comments from the October 29, 2019, Utility Review Meeting be addressed on the final plat, adjust accessory structure setbacks as noted and provide lot coverage requirements for Phase 2 as noted.

**Commissioner Questions for Staff**

Commissioner Lemon asked about the original plat for Phase 2; Ms. Leigh explained the validity of the final development plan and subdivision plan.

Commissioner Lemon asked about the PUD overriding the underlying zoning; Ms. Leigh said yes.

Commissioner Collins talked about the work that went into creating this zone and asked if the RE zone was specifically created for Sweetwater Station; Ms. Leigh said yes with explanation.

Chairman Jackman asked about the dwellings per acre in Phase 1; Ms. Leigh didn't have that information available and referred to John Eddins if he had that information, he stated it would be plus or minus one.

Commissioner Lopez asked if the dwellings per acre were calculated based on the 2 acre lots or once they were amended; Ms. Leigh said the lots were never 2 acres, .79 was the calculation for Phase 1 & 2 of the original plan.

Chairman Jackman asked what the average dwellings units per acre were in R-1 in Rock Springs; Mr. Eddins and Ms. Leigh estimated what they thought it was.

Commissioner Lemon asked how many of the houses had horses; Ms. Leigh thought there might be two. He then stated if the purpose of the RE was to have horses, but if there are only two, does the City get people approaching us for the need of horse property; Ms. Leigh said not anymore.

Commissioner Hardesty asked how long it took to build out Phase 1; Ms. Leigh stated 15 years.

Commissioner Questions for Applicant

Chairman Jackman asked the applicant or a representative for the project to come forward.

John Eddins with JFC representing Sweetwater Station Phase 2, provided more information on the project and development needs in the City.

Commissioner Lemon asked about the water line connecting to Phase 1 and how it will affect the neighboring properties; Mr. Eddins stated they need to work with White Mountain Water to model the water and what they can supply and how they can loop it.

Chairman Jackman asked about the setbacks being different; Mr. Eddins stated they are based on lot size and they'll follow staff recommendation.

Public Comments

Chairman Jackman asked for anyone who would like to comment in favor of the project to come forward.

Bob DeBernardi with 4D Development stated that when this gets built out, it will be nice, they've been working in the area for 80 years and they'd like to see 55 lots to make it feasible. He thanked staff for report and the commission for their consideration.

Mike Haden with Haden Construction, gave information as a home builder, he spoke on how long it has taken to build out Phase 1 and that should speak for itself on the demand for large lots. He has had lots of phone calls over the years and the lots are too big or financially not feasible. He considers Phase 2 a separate subdivision, the developer has tried to listen to Phase 1 neighbors by reducing the lots from 70 something to 55 and closing Mustang. The most important thing to consider are the 55 families that will be here in the future. He thinks it will be a nice addition to Rock Springs.

Tim Kaumo is an employee of JFC and the Mayor of the City of Rock Springs, however he is speaking tonight as a tax payer and citizen. He spoke about the lot size and home sizes and maintenance. The developer is very capable and local. He has sat through all of these meetings and it makes good sense. He has good friends in Phase 1, he sees the developer has eliminated the through streets. This will present a good chance to improve the water flow, he understands they haven't done the model yet, but gets the developer not wanting to spend any more money, and not knowing how many lots you can't do it yet. He hopes the commission makes a good decision in favor of it.

Chairman Jackman then asked for anyone opposed to the project to come forward.

John Hay, lives in Phase 1, had a question about the Covenants matching Phase 1, particularly about landscaping being done within two years; Ms. Leigh stated that is part of her recommendation, that covenants be addressed between the developer and HOA. So if there is anything in Phase 1 that the residents aren't happy with, it would be a good time to address it. There are several properties in Phase 1 that aren't meeting the covenants. It will be a good chance to look at the big picture of all of it. Mr. Hay, then asked about the build out, Phase 1 took a while, how quick do they think it will take, done in two or another ten years.

Public hearing is closed.

Mr. Eddins addressed Mr. Hays question is tough, they have upsized some of the lots to 20,000 SF, not sure how quick they will sell, if they were 10 to 15,000 SF, they would go a lot faster.



Chairman Jackman then asked for a staff recommendation.

Staff Recommendation

Ms. Leigh first updated the Commission with some numbers that were requested; in Phase 1, the largest lot is 1.67 acres, so there are no lots that meet the 2 acre lot requirement. There are 9 lots that are less than 1 acre, 10 lots between an acre and 1.25 acres, and 7 lots that are between 1.25 and 1.67 acres.

Regarding the build out and how long it will take, that is unknown, however in regards to the subdivision improvements, the developer is required to bond and build the roads, sidewalks, utilities would be built within a year.

It is sad that it wasn't developed as it was planned to be done; things change, economy, the need and wants and therefor there is a process built into our ordinance to allow for change, which is what we are going through tonight.

Ms. Leigh recommends approval to forward this to City Council for a public hearing in December with the recommendations of adjusting the accessory structure setbacks, lot coverage, utility review comments, and coordination of the covenants, as are required for a PUD.

Commission Vote

Commissioner Fortuna: Upon finding that the review criteria listed in Section 13-906 of the Rock Springs Zoning Ordinance are satisfied, I move to recommend approval the Amended Preliminary Development Plan for the Sweetwater Station Addition, with the following conditions to be addressed at Final Plat/PUD Final Development Submittal:

- All comments from the October 29, 2019 Utility Review Meeting shall be addressed on the Final Plat and/or Final Development Plan where appropriate;
- Adjust Accessory Structure setbacks as noted in the staff report;
- Provide lot coverage requirements for Phase 2 as noted in the staff report;

Commissioner Hardesty: Second.

Chairman Jackman asked for a vote.

Vote: Sue Lozier – For

Blake Manus – For

Dan Kennedy – Abstained

Kevin Hardesty – For

Justin Lemon – For

Gary Collins – For

Emily Lopez – For

Ken Fortuna – For

Matt Jackman - Aye

Motion carries.

**UNFINISHED BUSINESS**

None.

### **NEW BUSINESS**

- 1) Request for Conditional Use Permit Approval, submitted by Rory Croft (property owner) and represented by Bart Amundsen (Amundsen Construction) for the construction of an oversized detached garage on property addressed as 3801 Clydesdale Drive. (Project#:PZ-19-00313, Staff Representative: Laura Leigh, City Planner)**

#### **Staff Report**

Ms. Leigh presented the Staff Report dated November 4, 2019, to the Commission.

#### **Commissioner Questions for Staff**

Commissioner Fortuna asked about the height; Ms. Leigh stated they can't exceed the height of the principal structure.

#### **Commissioner Questions for Applicant**

Chairman Jackman asked the applicant or a representative for the project to come forward.

No one was present.

Chairman Jackman then asked for a staff recommendation.

#### **Staff Recommendation**

Ms. Leigh recommended:

At a minimum the following conditions of approval by attached:

1. Construction shall conform to the approved site plan and application, including required setbacks from property lines.
2. Driveway from end of paving at front of house to the garage shall contain gravel, crushed asphalt, or other suitable material. Dirt is not considered a suitable material.
3. Height of the garage shall not exceed the height of the principal structure. Maximum height in the R-E Zone is 28 feet.
4. Planning approval does not constitute building permit approval. Contact the City of Rock Springs Building Department to obtain a building permit for the garage.

#### **Commission Vote**

Commissioner Hardesty: Motion to approve with staff recommendations.

Commissioner Lopez: Second.

Vote: All in favor. Motion carried unanimously.

- 2) Request for a Use Exemption to allow Recreational Vehicle Parking as a permitted use in the R-2 Zoning District, located in the Johnson Addition PUD, submitted by the City of Rock Springs. (Project#: PZ-19-00322, Staff Representative: Laura Leigh, City Planner).**

#### **Staff Report**

Ms. Leigh presented the Staff Report dated November 4, 2019 to the Commission.

#### **Commissioner Questions for Staff**

Commissioner Fortuna asked questions about upgrades and who will pay for them; Ms. Leigh turned it over to Mayor Kaumo.

Commissioner Questions for Applicant

Chairman Jackman asked the applicant or a representative for the project to come forward.

Mayor Kaumo explained the history of this and why the City was requesting an exemption. There was a lot of discussion about specifics of a future lease agreement. Ms. Leigh stated all those details would be worked out if the exemption is granted and this moves forward and goes through the Minor Site Plan process.

Public Comments

Chairman Jackman asked for anyone who would like to comment on the project to come forward.

Tom James spoke that he is the one considering the lease and discussed some details of his plans.

Johnnie Boylen a homeowner from the subdivision came forward and explained the need for this due to safety concerns and congestion in the subdivision and is in favor of it.

Iraki Andiketrea (sp) came forward and talked about their community and is in favor of it.

Chairman Jackman then asked for a staff recommendation.

Staff Recommendation

Ms. Leigh recommended:

At a minimum, staff recommends as a condition of approval for the following:

1. A Minor Site Plan Application shall be submitted by the lessee and reviewed by the Utility Review Committee prior to City Council's review of the lease.
2. Development conditions noted by the Utility Review Committee shall be forwarded to City Council as a recommendation to incorporate into the lease. This may include, but not limited to, surfacing, screening, grading, drainage, etc.

Commission Vote

Commissioner Lemon: Motion to approve with staff recommendations.

Commissioner Collins: Second.

Vote: All in favor. Motion carried unanimously.

**NOTIFICATION OF MINOR SITE PLANS /  
STAFF APPROVED CONDITIONAL USE PERMITS**

1. Approval of a six foot side yard fence Conditional Use Permit for a Special Purpose Fence to be located at 1607 Condor Drive, submitted by Smart Dwellings. (Project #: PZ-19-00303)
2. Approval of a new home with an attached garage containing more than three spaces located at 1231 Savage Blvd, submitted by Amundsen Construction. (Project #: PZ-19-00312)
3. Approval of a Minor Site Plan for an Accessory 6,000 SF Warehouse located at 550 Jonah Drive, submitted by Tony Tarufelli. (Project #: PZ-19-00330)
4. Approval of a Minor Site Plan to construct an A-Frame Style Gentry crane / hoist for un-decking trucks located at 685 Jonah Drive, submitted by Peterbuilt of Wyoming. (Project #: PZ-19-00325)

5. Approval of Minor Site Plan for a change of use from a salon to an entertainment business (axe throwing) located at 642 Pilot Butte, submitted by Aubrey Ashley for Huckers. (Project#: PZ-19-00294)

### **PETITIONS AND COMMUNICATIONS**

#### **1) Written petitions and communications.**

##### **a. Update on City Council Actions**

Date of Council Meeting	P&Z Item	Council Action
Nov 5, 2019	2019-15 3 <sup>rd</sup> Reading: An Ordinance amending Article 13-8 of the Zone District Regulations of the Ordinances of the City of Rock Springs, entitled "Wireless Communications"	3rd Reading Approved
Nov 5, 2019	2019-16 3 <sup>rd</sup> Reading: An Ordinance amending Article 13-9 of the Zone District Regulations of the Ordinances of the City of Rock Springs, entitled "Administrative Procedures", to correct numbering and clerical errors.  At 2 <sup>nd</sup> reading Ordinance 2019-16 was amended; to remove language from Section 13-906D(2), entitled "Preliminary Development Plan;" adding it to Section 13-906E(2), entitled "Final Development Plan," pursuant to recommendations made by Laura Leigh, City Planner. In addition, striking the reference in 13-906 G stating "Requirements of Section 13-906 D 3 shall apply to requests for Major Changes," pursuant to recommendations made by Rick Beckwith, City Attorney.	3rd Reading Approved

#### **2) Petitions and communications from the floor.**

Nominees for Vice Chairman submitted by the nominating committee:

Dan Kennedy – declined the nomination

Sue Lozier – accepted the nomination

Vote: All in favor. Motion carried unanimously.

Mr. Tim Kaumo thanked the Commission for what they do and how important part of the City it is. Also, thanked Laura and Cathy and Paul's staff for the work they do and the training that was provided.

### **ADJOURNMENT**

With no further business, the meeting was adjourned at 9:24 p.m.

These minutes approved by the Rock Springs Planning and Zoning Commission by vote this  
\_\_\_\_\_ day of \_\_\_\_\_ 2019.

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Laura Leigh, Secretary, Planning & Zoning Commission



# Planning & Zoning Commission Staff Report

December 11, 2019

7:00 p.m.

REPORT SUMMARY			
<b>Agenda Item:</b>	Public Hearing #1	<b>Project Number:</b>	PZ-19-00339
<b>Project Name:</b>	Stanton - Master Land Use Plan Amendment and Zoning Amendment		
<b>Project Location:</b>	200 Willow Street, Rock Springs, Wyoming		
<b>Project Description:</b>	Consideration of a Master Land Use Plan Amendment from PRE to LDR and a Zoning Map Amendment from R-1 to R-2 for property addressed as 200 Willow Street, Rock Springs, Wyoming.		
<b>Applicant:</b>	Phillip Stanton 2001 Century Blvd. Rock Springs, WY 82901	<b>Property Owner:</b>	Vern and Thalia Stanton 2001 Century Blvd. Rock Springs, WY 82901
<b>Engineer:</b>	N/A	<b>Surveyor:</b>	Kent Felderman, JFC Engineers & Surveyors (formerly RMS)
<b>Public Notification:</b>	Adjacent Property Letters Mailed 11/22/19; Public Hearing Notice Published on 11/27/19		
<b>Current Zoning District:</b>	R-1 (Low Density Residential)	<b>Current Master Plan Land Use Designation:</b>	PRE (Parks, Recreation, Environmental)
<b>Proposed Zoning District</b>	R-2 (Low Density Residential)	<b>Proposed Master Plan Land Use Designation:</b>	LDR (Low Density Residential)
<b>References:</b>	2012 Master Plan, Section ES.6 Plan Amendments 2012 Master Plan, Table 3.3 2012 Master Plan, Map 3.1 Rock Springs Zoning Ordinance §13-601 Definitions Rock Springs Zoning Ordinance §13-801 Residential Zoning Districts Rock Springs Zoning Ordinance §13-901 Procedure for Amendments		
<b>Exhibits:</b>	A. Application B. Warranty Deed with Legal Description C. Amendment Justification D. Plot Plan (Preliminary) E. Adjacent Property Owner Letter F. Public Hearing Notice		

**PETITION:**

Phillip Stanton, on behalf of Vern and Thalia Stanton, has submitted a Master Plan Amendment and Zoning Map Amendment application for property addressed as 200 Willow Street, Rock Springs, Wyoming. The request is to amend the Master Plan Land Use designation of this property from PRE (Parks, Recreation, Environment) to LDR (Low Density Residential). The request is also to amend the Official Zoning Map of the City of Rock Springs to change the zoning designation of this property from R-1 (Low Density Residential) to R-2 (Low Density Residential). Please refer to **Exhibit A** to review the submitted application.

**PROPERTY LOCATION AND DESCRIPTION:**

As shown in **Figure 1** and **Figure 2**, the property is located adjacent to the Rock Springs Cemetery. The property is unplatted (located outside of a recorded subdivision) and has existed at least since 1969, which is the date of the Rock Springs Cemetery tract. The property is currently vacant and appears that it has always been vacant, or at least vacant for quite some time.



*Figure 1: Location Map*



Figure 2: 2015 Aerial Map

#### ADJACENT LAND USES:

As shown in the 2015 Aerial Photo (**Figure 2**), adjacent land uses are as follows:

North – Single Family Residential (Hospital Addition subdivision)

South and East – Rock Springs Cemetery

Southwest and West – Mixed Uses Including the Spring View Trailer Court, Single Family Residential Structures, the Carpenter’s Union, and a Church located at the corner of Walnut Street and Willow Street

#### LEGAL DESCRIPTION:

A copy of the current Warranty Deed with the legal description is attached in **Exhibit B**. The property is legally described as follows:

A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ROCK SPRINGS, SWEETWATER COUNTY, WYOMING, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 35 BEARS NORTH 26°39’19’ EAST, A DISTANCE OF 1,558.10 FEET BEING THE TRUE POINT-OF-BEGINNING, MONUMENTED BY A 2 INCH ALUMINUM CAP ON A REBAR (STEEL ROD), BEING THE SAID POINT LOCATED IN THE WESTERLY BOUNDARY OF



THAT CERTAIN TRACT OF LAND CONVEYED BY THE UNION PACIFIC COAL COMPANY DEED NO. 1464, DATED SEPTEMBER 5, 1950, TO ST. JOSEPH'S CEMETERY CORPORATION, FILED IN THE RECORDS OF SWEETWATER COUNTY CLERK'S OFFICE ON OCTOBER 11, 1950, IN BOOK 168, AT PAGES 543-544;

THENCE NORTH 89°41' WEST (BASIS OF BEARING), A DISTANCE OF 70.00 FEET TO A 3 ½ INCH BRASS CAP IN A 6 INCH SQUARE CONCRETE MONUMENT (BEING THE SECOND POINT IN THAT LEGAL DESCRIPTION FILED IN BOOK 525, PAGES 200-203 IN THE SWEETWATER COUNTY CLERK'S OFFICE, THE BEARING THEREIN BEING NORTH 89°41' WEST); THENCE NORTH 0°18'59" EAST, A DISTANCE OF 88.72 FEET TO THE NORTH LINE OF THAT PARCEL DESCRIBED IN THE PREVIOUS PARAGRAPH; THENCE SOUTH 89°08'52" EAST ALONG THE NORTH LINE OF THE AFOREMENTIONED PARCEL (THEREIN DESCRIBED AS SOUTH 89°48' EAST), A DISTANCE OF 70.00 FEET TO THE EAST LINE OF THE AFOREMENTIONED PARCEL; THENCE SOUTH 0°18'59" WEST ALONG SAID EAST LINE (DESCRIBED AS SOUTH 0°19' WEST IN THE AFOREMENTIONED LEGAL DESCRIPTION), A DISTANCE OF 88.04 FEET (IN THE AFOREMENTIONED LEGAL DESCRIPTION THE DISTANCE WAS 88.03 FEET) TO THE TRUE POINT OF BEGINNING.

SAID PARCEL CONTAINING 6,098 SQUARE FEET, MORE OR LESS.

## 2012 MASTER PLAN

The current Rock Springs land use plan was adopted by the Governing Body on May 7, 2013 and is called "The City of Rock Springs 2012 Master Plan: Today's Plan for Tomorrow's Future". When an applicant desires to rezone a property, the first thing staff determines is whether or not the proposed rezoning will comply with the Official Land Use Map of the 2012 Master Plan. As noted in §13-901 of the Rock Springs Zoning Ordinance, the City Council may change the zoning of property within the City for the purpose of meeting the land use needs of the residents of the City in conformance with the City's Land Use Plan (Master Plan).

As shown in **Figure 3**, the 2012 Master Plan Official Land Use Map shows that this property is designated as "PRE – Parks, Recreation, Environment". The PRE land use designation is defined as "areas devoted to public parks, cemeteries, open space and other similar uses" (2012 Master Plan, Table 3.3). Compatible zoning districts within the PRE land use designation include O-1 and all residential and commercial districts.

As shown in **Figure 3**, to the north of the property is designated as LDR (Low Density Residential), the south and east of the property is designated as PRE (Parks, Recreation, Environment), the west and southwest of the property is designated as HDR (High Density Residential).

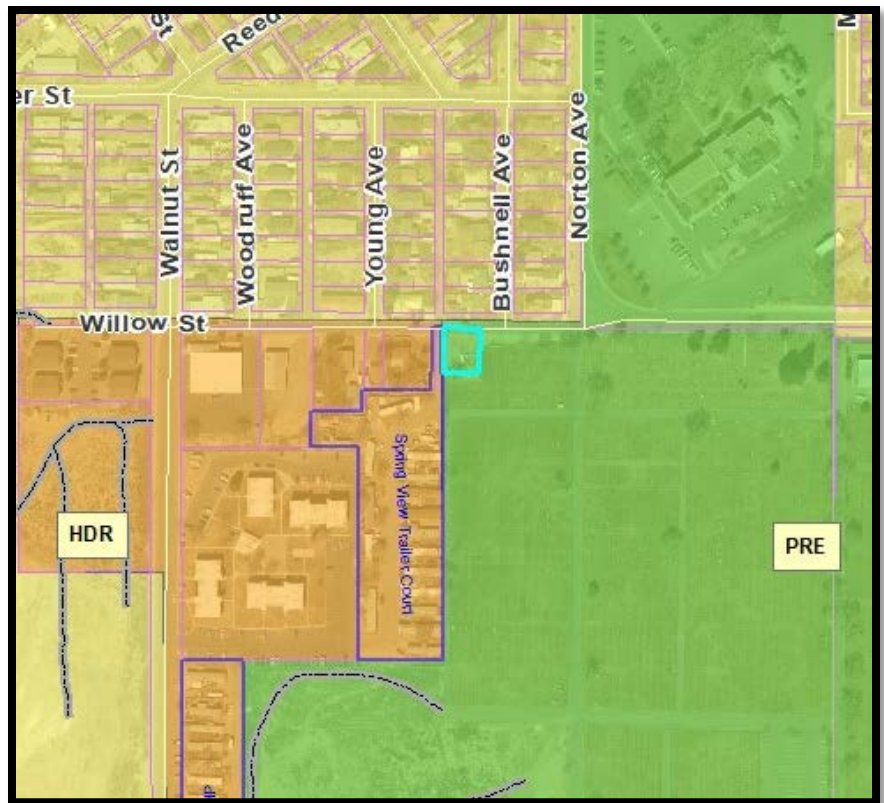


Figure 3: Land Use Map

The applicant is desiring to rezone the property to an R-2 zoning district. As noted above, the PRE land use designation allows “all residential” districts. Although the R-2 zoning district is a compatible zoning district of the PRE land use designation, the property is not publicly owned, nor intended to be used for public purpose. Staff feels that since this property is so small in nature, and undeveloped, it was most likely an oversight when designating the boundary of the publically owned property to designate as PRE.

It is staff’s recommendation to tie this property into the LDR designation that is already existing across Willow Street. LDR (Low Density Residential) is defined in the 2012 Master Plan as “low intensity residential development at densities ranging from 0.5 to 7 dwelling units per acre” (2012 Master Plan, Table 3.3). Compatible zoning districts within the LDR land use designation include R-E, R-1, R-2, and R-3. As the property is too small for multi-family use, it would not be recommended to classify it as HDR, which is adjacent to the property on the westerly side.

#### **MASTER PLAN AMENDMENT REVIEW:**

As Section ES.6 of the *Master Plan* states, amendments to the plan or accompanying maps may be made from time to time, provided that the following findings can be made:

- (1) The proposed amendment represents an overall improvement to the character of the community and meets the general intent of the plan; and
- (2) The proposed amendment benefits the community at large and not an individual party or parties; and
- (3) The proposed amendment will not cause adverse impacts on the general health, safety and welfare of the community, nor of neighboring residents; and
- (4) The proposed amendment is keeping with the plan’s vision, mission and goals; and
- (5) The proposed amendment is the minimum amendment necessary and is not of such a scope that an extensive update of the plan is required.

The applicant has provided an Amendment Justification which can be found in **Exhibit C.**

#### **ZONING AMENDMENT**

As shown in **Figure 4**, the property is currently zoned R-1 (Low Density Residential), as is the rest of the Rock Springs Cemetery to the east and south of the property. North of the subject property is zoned R-2 (Low Density Residential). To the west and southwest of the subject property, the land is zoned R-5 (High Density Residential) which is consistent with the higher intensity uses found of these properties.

As previously noted, the applicant desires to rezone the property from R-1 (Low Density Residential) to R-2 (Low Density Residential), which is found on the opposite side of Willow Street. The overall goal of the applicant is to use the property for a single-family dwelling. A single-family dwelling is defined as “a dwelling designed for one (1) family occupancy, site-built or manufactured elsewhere.” Additionally, “a manufactured home placed on a permanent foundation and converted to real property prior to occupancy shall be considered a single-family dwelling.” (Rock Springs Zoning Ordinance, §13-601)

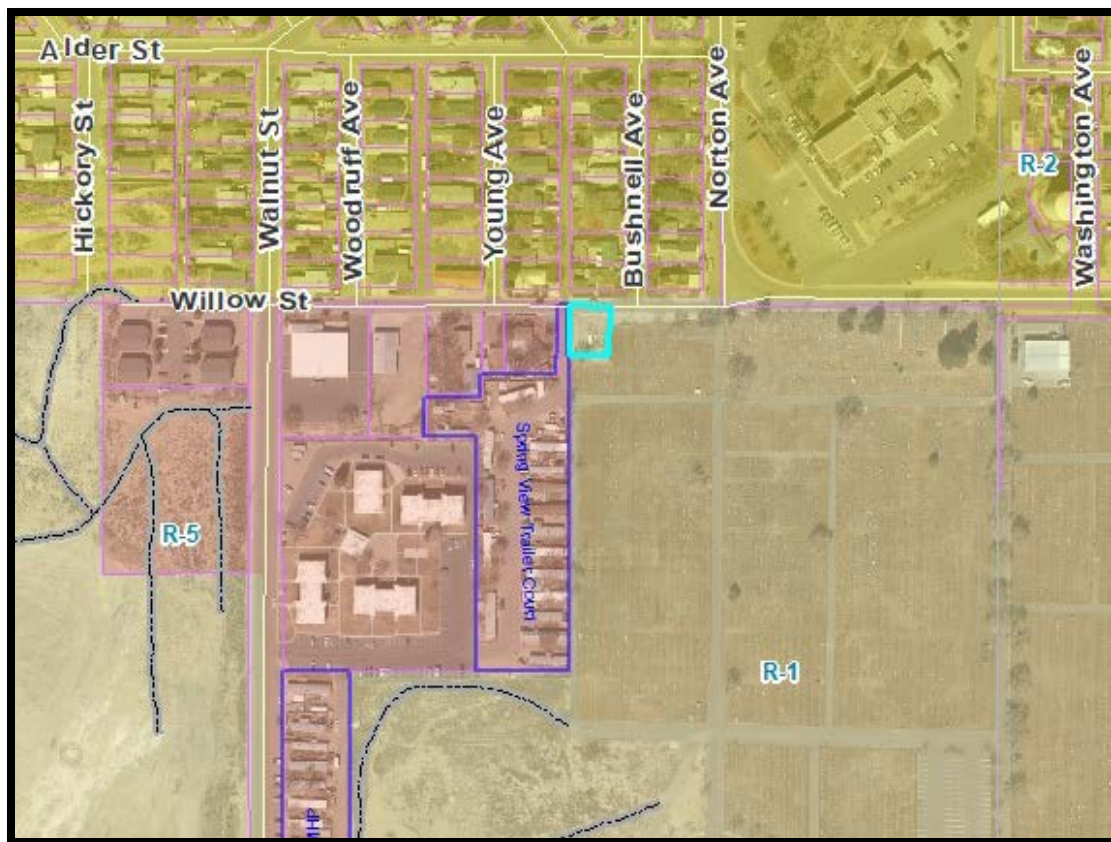


Figure 4: Zoning Map

In comparing the two zoning districts, as noted in the Rock Springs Zoning Ordinance, §13-801 (Residential Zoning Districts), the following criteria apply to the R-1 Zoning District:

R-1 Principally Permitted Uses Include:

- (1) Single Family Site-Built Dwellings (Detached)
- (2) Model Home
- (3) Public Park

R-1 Lot Size Requirements:

Minimum Lot Area – 7000 square feet  
 Minimum Lot Width – 70 feet  
 Minimum Lot Depth – 100 feet

R-1 Minimum Setback Requirements:

Front – 20 feet  
 Rear – 20 feet  
 Interior Side – minimum of 6 feet on one side and minimum of 10 feet on the other interior side  
 Corner – 20 feet

Maximum Building Height – 28 feet

As noted in the Rock Springs Zoning Ordinance, §13-801 (Residential Zoning Districts), the following criteria apply to the R-2 Zoning District:

R-2 Principally Permitted Uses Include:

- (1) Single Family Site-Built Dwellings (Detached)
- (2) Single-Family Dwelling (Detached)
- (3) Manufactured Home (if placed on a permanent foundation)
- (4) Modular Home
- (5) Accessory Dwellings
- (6) Model Home
- (7) Public Park

R-2 Lot Size Requirements:

Minimum Lot Area – 6000 square feet  
Minimum Lot Width – 60 feet  
Minimum Lot Depth – 100 feet

R-2 Minimum Setback Requirements:

Front – 20 feet  
Rear – 20 feet  
Interior Side – minimum of 6 feet on one side and minimum of 10 feet on the other interior side  
Corner – 20 feet

Maximum Building Height – 28 feet

The following facts should be considered when review the proposed zone change:

- The overall goal of the applicant is to develop the property for a single-family dwelling (see **Exhibit D** – Preliminary Plot Plan).
- The property is a non-conforming lot as it has existed prior to the adoption of the current Zoning Ordinance (at least since 1969 when the Rock Springs Cemetery Deed was recorded).
- The lot is approximately 70 feet wide by 87.5 feet deep with an approximate square footage of 6100 square feet.
- The property is currently zoned R-1 which requires a lot width of 70 feet, a lot depth of 100 feet, and a lot area of 7000 square feet.
- The requested R-2 Zoning District requires a lot width of 60 feet, a lot depth of 100 feet, and a lot area of 6000 square feet.
- Although the lot depth requirement of the R-2 Zoning District will not be satisfied, the lot area requirement will be met if rezoned to R-2, thereby bringing this “grandfathered” property closer into compliance with the Rock Springs Zoning Ordinance’s current requirements.



## **PUBLIC NOTIFICATION:**

Public Hearing Notice letters were mailed to property owners located within 200 feet of the boundaries of the subject property on November 22, 2019. Refer to **Exhibit E**.

A Public Hearing Notice was duly published in the Rock Springs Rocket Miner on Wednesday, November 27, 2019. Refer to **Exhibit F**.

Additionally, the applicant provided the following photo documentation (**Figure 5**) that the property was posted with a Public Notice Sign:



*Figure 5: Posted Public Notice*

To date, no comments have been received. Staff will advise the Commission of any comments received after the date of this report.

## **PROCEDURE:**

Master Plan text and map amendments shall be made only after first holding a public hearing before the Rock Springs Planning and Zoning Commission followed by a public hearing before the Rock Springs City Council, and shall be handled in the same manner as Zoning Map Amendments (§13-901).

The Planning and Zoning Commission's recommendation will be forwarded to the Rock Springs City Council for consideration at a Public Hearing (tentatively scheduled for the January 7, 2020 meeting). Public Hearing notice will once again be published in the Rocket Miner prior to the City Council Public Hearing. After the public hearing, the Master Plan Amendment will be voted on by Resolution. The Zoning Map Amendment will require approval by Ordinance, which requires three (3) ordinance readings.

## **STAFF RECOMMENDATION:**

Staff will provide a formal recommendation after the public comment portion of the public hearing.



**2019**  
**CITY OF ROCK SPRINGS**  
**MASTER PLAN LAND USE MAP**  
**AND**  
**ZONING MAP**  
**AMENDMENT APPLICATION**

Planning & Zoning Division  
 212 D Street  
 Rock Springs WY 82901  
 307.352.1540 (phone)  
 307.352.1545 (fax)

**City Use Only:**

Date Received

11/1/19

File Number:

P2-19-00339**Payment Information:**

Amount Received:

300.00

Received by:

[Signature]

Cash or Check Number:

Receipt Number:

2019-11-01-01213

Date Certified as Complete Application:

By:

A. **PROPERTY ADDRESS:** 200 Willow Street

**(NOTE: IF THE PROPERTY DOES NOT HAVE AN EXISTING ASSIGNED ADDRESS, LEGAL DOCUMENTATION OF THE LOCATION MUST BE SUBMITTED – i.e. Property Tax ID Number, Legal Description, etc.)**

**B. CONTACT INFORMATION:**

**NOTE: The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.**

**Petitioner Information:**

Petitioner Name:

Phillip Stanton

Company Name:

Industrial Services Inc.

Street Address:

2001 Century Blvd

City:

R.S.

State:

WY

Zip Code:

82901

Email Address:

Phil@ISIWyoming.com

Phone Number:

307-389-6165

Fax Number:

(including area code)

(including area code)

**Property Owner Information:**

Name:

Vern & Beep Stanton

Company Name:

Street Address:

2001 Century Blvd

City:

R.S.

State:

WY

Zip Code:

82901

Email Address:

Phone Number:

307-389-5755

Fax Number:

(including area code)

(including area code)

**Engineer / Surveyor Information:**

Name:

R.M.S. Kent Felderman

Company Name:

Street Address:

503 5th Street

City:

R.S.

State:

WY

Zip Code:

82901

Email Address:

Kent F @ RMsurvey.com

Phone Number:

307-382-2212

Fax Number:

(including area code)

(including area code)

**C. PLEASE ANSWER THE FOLLOWING ON THE SPACE PROVIDED:**

1. Existing *Master Plan* Land Use Map Designation: \_\_\_\_\_
2. Requested *Master Plan* Land Use Map Designation: \_\_\_\_\_
3. Existing Zoning Map Designation: R 1
4. Requested Zoning Map Designation: R 2
5. Square footage and/or acreage of property to be rezoned: 6,128 SF  
(If rezoning to multiple zoning districts, provide acreage of each proposed new zoning district)
6. Current Use of Land: Vac Res
7. Proposed Use of Land: Single Family home
8. Reason for requested *Master Plan* Land Use Map and Zoning Map Amendment:  
Modular home on Permanent Foundation

**D. AMENDMENT JUSTIFICATION:**

In order to justify the request, the following statements **MUST** be addressed. Please do so with typewritten text and submit separately as an attachment to this application. The current Rock Springs *Master Plan* Land Use Map and Zoning Map are available on the Rock Springs website at [www.rswy.net](http://www.rswy.net).

1. The proposed amendment represents an overall improvement to the character of the community and meets the general intent of the plan; and
2. The proposed amendment benefits the community at large and not an individual party or parties; and
3. The proposed amendment will not cause adverse impacts on the general health, safety and welfare of the community, nor of neighboring residents; and
4. The proposed amendment is in keeping with the plan's vision, mission and goals; and
5. The proposed amendment is the minimum amendment necessary and is not of such a scope that an extensive update of the plan is required.

**E. SUBMITTAL REQUIREMENTS:**

**NOTE:** The following items are required for submitting a complete application and must be submitted in accordance with the submittal deadlines listed on Page 3 of this application. Applications submitted after the submittal deadlines as listed will be postponed until the following month.

An incomplete application will not be reviewed and will be returned to the petitioner.

- ☐ Filing Fee (\$300.00).
- ☐ 20 copies of an accurately drawn map of property requested for *Master Plan* Land Use Map and Zoning Map amendment. If the full-size scaled drawing is on a size larger than 11" x 17", then in addition to the 20 full size copies, one reduced copy no larger than 11" x 17" must also be submitted. A survey may be required.
- ☐ Electronic version of *Master Plan* Land Use Map and Zoning Map amendment provided in PDF format either on thumb drive or emailed to: [city\\_planner@rswy.net](mailto:city_planner@rswy.net).
- ☐ Legal description of the property provided on a typed sheet and also supplied electronically in Word format and emailed to: [city\\_planner@rswy.net](mailto:city_planner@rswy.net).
- ☐ Petitioner shall post the property within 10 days of the first public hearing. Sign shall state the nature of the request and time and date of the public hearing. (See Section F for suggested posting language.)

**F. SAMPLE PROPERTY POSTING NOTICE**

(Lettering should be sufficiently sized so as to be visible from the adjacent public street.)

**NOTICE OF PROPOSED MASTER PLAN LAND USE MAP AND ZONING MAP AMENDMENT**

Please take notice that this property owned by \_\_\_\_\_ and totaling \_\_\_\_\_ acres is proposed for *Master Plan* Land Use Map Amendment from \_\_\_\_\_ to \_\_\_\_\_ and Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_ and that a Public Hearing will be held before the City of Rock Springs Planning & Zoning Commission on \_\_\_\_\_ at 7 p.m. in the City Council Chambers to consider said action. Interested parties may obtain more information by attending the meeting or contacting:

**G. SUBMITTAL SCHEDULE:**

**NOTE:** Applications that are not received by **Noon** on the Application Deadline will be postponed until the following month's meeting. If a deadline falls near a City holiday, please contact the Planning Department to verify the days City Hall will be closed to ensure that your application is submitted on time.


Call City Planner, Laura Leigh for submittal dates.


**\*\* BE ADVISED:** Ordinances amending the Rock Springs Zoning Map must be read at three consecutive meetings of City Council prior to being accepted. The above-listed dates represent the anticipated first reading only. Master Plan amendments are approved by Resolution during the third reading of the Zoning Map amendment. \*\*

**H. SIGNATURE(S) REQUIRED:**

I acknowledge that I have read and understand this application and the pertinent Zoning Map amendment regulations (Section 13-902 of the Rock Springs City Ordinances). I further agree if the *Master Plan* Land Use Map and Zoning Map amendment is approved, I will comply with all pertinent regulations and conditions as set forth by the City of Rock Springs. I certify that the information provided with this application is true and correct.

**All petitioners and property owners must sign this application. Attach a separate sheet if necessary.**

Signature of Applicant  Date 10/31/2019

Signature of Owner  Date 10/31/19

Signature of Engineer/Surveyor \_\_\_\_\_ Date \_\_\_\_\_



File No.: **4611-3207932 (CS)**

**WARRANTY DEED**

**Greg Juel and Janet K. Juel, husband and wife**, grantor(s) of **Sweetwater** County, State of **WY**, for and in consideration of Ten Dollars and Other Good and Valuable Consideration, in hand paid, receipt whereof is hereby acknowledged, Convey and Warrant To

**Vern Stanton and Thalia Stanton, husband and wife**, grantee(s),

whose address is: 2001 Century Blvd, Rock Springs WY 82901 of **Sweetwater** County and State of **WY**, the following described real estate, situate in **Sweetwater** County and State of **Wyoming**, to wit:

**A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ROCK SPRINGS, SWEETWATER COUNTY, WYOMING, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**BEGINNING AT A POINT FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 35 BEARS NORTH 26°39'19" EAST, A DISTANCE OF 1,558.10 FEET BEING THE TRUE POINT-OF-BEGINNING, MONUMENTED BY A 2 INCH ALUMINUM CAP ON A REBAR (STEEL ROD), BEING THE SAID POINT LOCATED IN THE WESTERLY BOUNDARY OF THAT CERTAIN TRACT OF LAND CONVEYED BY THE UNION PACIFIC COAL COMPANY DEED NO. 1464, DATED SEPTEMBER 5, 1950, TO ST. JOSEPH'S CEMETERY CORPORATION, FILED IN THE RECORDS OF SWEETWATER COUNTY CLERK'S OFFICE ON OCTOBER 11, 1950, IN BOOK 168, AT PAGES 543-544;**

**THENCE NORTH 89°41' WEST (BASIS OF BEARING), A DISTANCE OF 70.00 FEET TO A 3 1/2 INCH BRASS CAP IN A 6 INCH SQUARE CONCRETE MONUMENT (BEING THE SECOND POINT IN THAT LEGAL DESCRIPTION FILED IN BOOK 525, PAGES 200-203 IN THE SWEETWATER COUNTY CLERK'S OFFICE, THE BEARING THEREIN BEING NORTH 89°41' WEST);**

**THENCE NORTH 0°18'59" EAST, A DISTANCE OF 88.72 FEET TO THE NORTH LINE OF THAT PARCEL DESCRIBED IN THE PREVIOUS PARAGRAPH;**

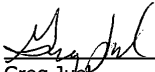
**THENCE SOUTH 89°08'52" EAST ALONG THE NORTH LINE OF THE AFOREMENTIONED PARCEL (THEREIN DESCRIBED AS SOUTH 89°48' EAST), A DISTANCE OF 70.00 FEET TO THE EAST LINE OF THE AFOREMENTIONED PARCEL;**

**THENCE SOUTH 0°18'59" WEST ALONG SAID EAST LINE (DESCRIBED AS SOUTH 0°19' WEST IN THE AFOREMENTIONED LEGAL DESCRIPTION), A DISTANCE OF 88.04 FEET (IN THE AFOREMENTIONED LEGAL DESCRIPTION THE DISTANCE WAS 88.03 FEET) TO THE TRUE POINT OF BEGINNING.**

Subject to all covenants, restrictions, reservations, easements, conditions and rights appearing of record.

Hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State of Wyoming.

Witness my/our hand(s) this 28 day of May, 20 19.

  
 Greg Juel

  
 Janet K. Juel



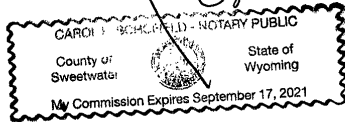
WARRANTY DEED-continued

File No.: 4611-3207932 (CS)

State of **Wyoming**

County of **Sweetwater**

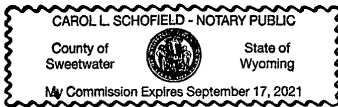
This instrument was acknowledged before me on this 28 day of May,  
2019, by **Greg Juel and Janet K. Juel**.



*Carol L. Schofield*

Notary Public

My commission expires: 9/17/21



## EXHIBIT C

### Amendment Justification

#### 200 Willow Street

The existing property is a vacant piece of land adjoined on 2 sides by the Rock Springs municipal cemetery. We feel as though our proposal meets each of the five minimum justification requirements as a new home in the area improves the character of the community, benefits the community as a whole and not just us, does not cause adverse impacts, keeps with the original goals and vision and is a minimum adjustment as there is adjacent R2 and R5 zoning. Rezoning this property to R2 would also bring it into compliance with the city's minimum square footage requirements for a city lot.

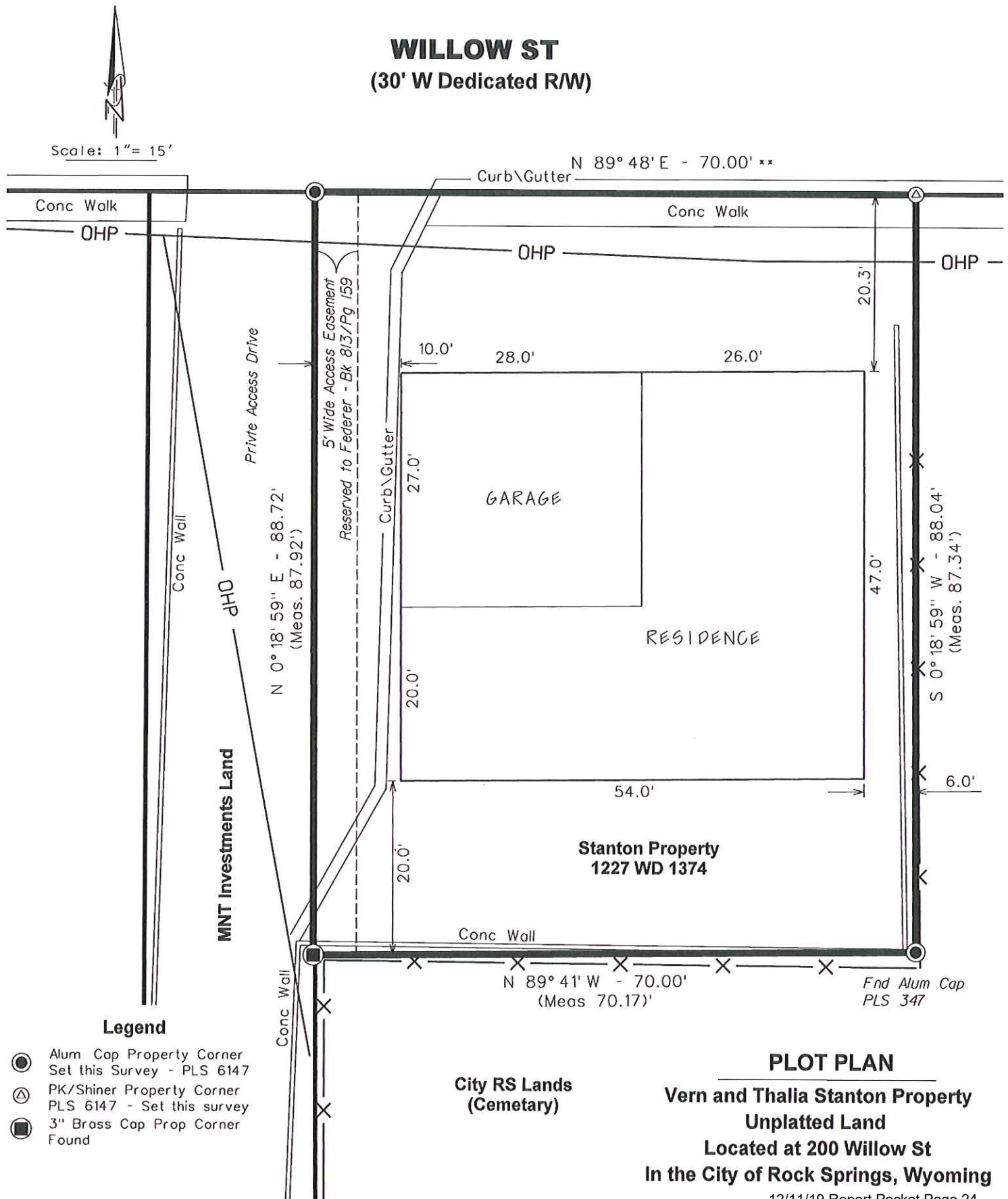
Phillip Stanton

#### Legal description

Street Address: 200 WILLOW ST

Deed: 1227 WD 1374, 05/28/2019

Location: T19N R105W SEC 35 NW4SE4SE4 TR



November 22, 2019

Dear Property Owner or Interested Party:

This letter is to inform you that a request has been filed by Phillip Stanton, representing Vern and Thalia Stanton (property owners), requesting that the Rock Springs Master Plan Official Land Use Map be amended from Parks/Rec/Environmental (PRE) to Low Density Residential (LDR) and the Official Zoning Map of the City of Rock Springs be amended from R-1 (Low Density Residential) to R-2 (Low Density Residential) for property addressed as 200 Willow Street, Rock Springs, Wyoming.

The property is an undeveloped, 6,098 square foot parcel adjacent to the Rock Springs Cemetery. Please refer to the location map below and the attached Zoning Map. Records show that this property is adjacent to or near property you own.

A **PUBLIC HEARING** will be held by the Rock Springs Planning and Zoning Commission, where all interested parties and citizens may appear and be heard regarding this request. Said public hearing will take place on **Wednesday, December 11, 2019** at 7:00 p.m. in the City Hall Council Chambers, 212 'D' Street, Rock Springs, Wyoming.

Interested persons or parties are encouraged to attend the meeting or submit written comments. Written comments will be accepted no later than noon on December 11, 2019.

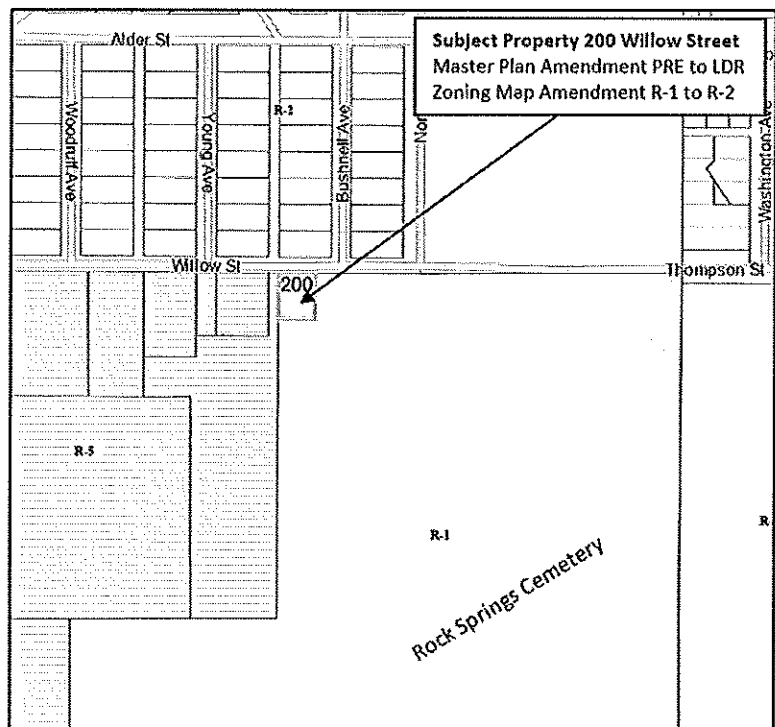
Sincerely,

Sincerely,

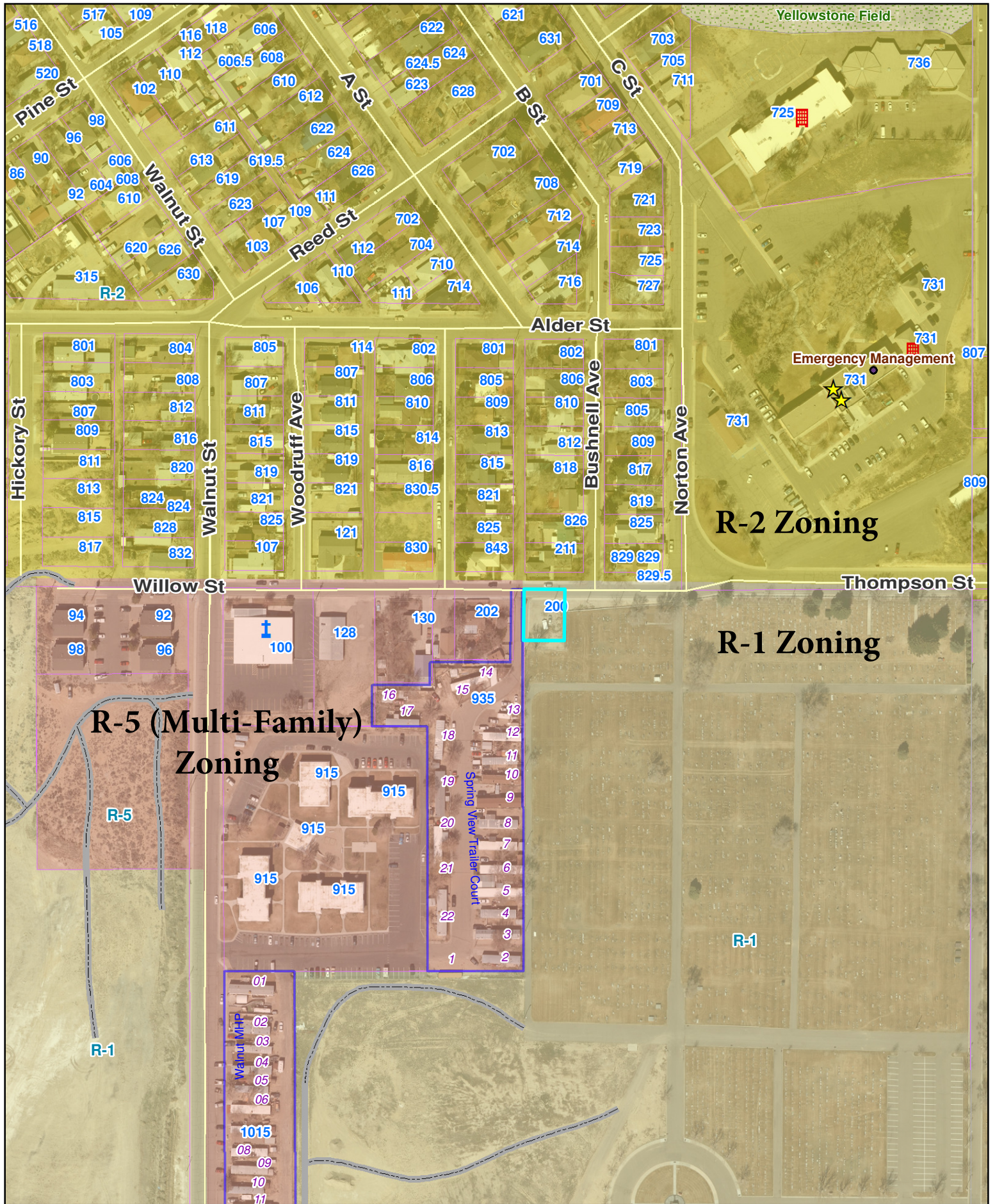
*Laura Leigh*

Laura Leigh, AICP  
City Planner

Enc.











5160®

Easy Peel® Address Labels  
Bend along line to expose Pop-up Edge®Go to [avery.com/templates](http://avery.com/templates)  
Use Avery Template 5160

AWESOME HOMEBUYERS AND FLIPZ  
22 LLC  
309 PINNACLE DR  
ROCK SPRINGS, WY 82901-7907

BARRERA STEPHEN G & JANICE S  
829 BUSHNELL AVE  
ROCK SPRINGS, WY 82901-7203

BUNNING DAVID J  
202 WILLOW ST  
ROCK SPRINGS, WY 82901-7208

BUNNING FAMILY TRUST BUNNING  
DAVID J & BRENDA M  
202 WILLOW ST  
ROCK SPRINGS, WY 82901-7208

CALLAS LORNA J LIVING TRUST  
RICHARD D CALLAS TRUSTEE  
825 BUSHNELL AVE  
ROCK SPRINGS, WY 82901-7203

CITY OF ROCK SPRINGS  
212 D ST  
ROCK SPRINGS, WY 82901-6235

CROZIER ADAM & STEPHANIE  
818 BUSHNELL AVE  
ROCK SPRINGS, WY 82901-7204

FRED W ROBERTS LIVING TRUST  
ROBERTS FRED W TRUSTEE  
PO BOX 460  
COKEVILLE, WY 83114-0460

HARPER ROBERT W  
130 WILLOW ST  
ROCK SPRINGS, WY 82901-7206

HOYT GEORGE A  
815 YOUNG AVE  
ROCK SPRINGS, WY 82901-7264

KEEFE ELISABETH A LIVING TRUST  
KEEFE ELISABETH A TRUSTEE  
817 BUSHNELL AVE  
ROCK SPRINGS, WY 82901-7203

LANCASTER THOMAS S  
825 YOUNG AVE  
ROCK SPRINGS, WY 82901-7264

LIGHTNER GEORGE L  
826 BUSHNELL AVE  
ROCK SPRINGS, WY 82901-7204

MNT INVESTMENTS LLC & WHITNEY  
TINA L  
40 MOSES DR  
ROCK SPRINGS, WY 82901-6848

STANTON VERN & THALIA  
2001 CENTURY BLVD  
ROCK SPRINGS, WY 82901-4111

SWEETWATER COUNTY  
80 W FLAMING GORGE WAY STE 109  
GREEN RIVER, WY 82935-4252

WEINMASTER GLEN D  
821 YOUNG AVE  
ROCK SPRINGS, WY 82901-7264

WITTIG RICHARD & CYNTHIA  
819 BUSHNELL AVE  
ROCK SPRINGS, WY 82901-7203

WORKMAN DANIEL V  
211 WILLOW ST  
ROCK SPRINGS, WY 82901-7207

PHILLIP STANTON  
2001 CENTURY BLVD  
ROCK SPRINGS, WY 82901-4111

## **EXHIBIT F**

### **PUBLIC HEARING NOTICE**

**TAKE NOTICE** that a request has been filed by Phillip Stanton, representing Vern and Thalia Stanton (property owners), requesting that the Rock Springs Master Plan Official Land Use Map be amended from Parks/Rec/Environmental (PRE) to Low Density Residential (LDR) **and** the Official Zoning Map of the City of Rock Springs be amended from R-1 (Low Density Residential) to R-2 (Low Density Residential) for the following property:

The property is addressed as 200 Willow Street, Rock Springs, Wyoming, and is legally described as follows:

A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ROCK SPRINGS, SWEETWATER COUNTY, WYOMING, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 35 BEARS NORTH 26°39'19" EAST, A DISTANCE OF 1,558.10 FEET BEING THE TRUE POINT-OF-BEGINNING, MONUMENTED BY A 2 INCH ALUMINUM CAP ON A REBAR (STEEL ROD), BEING THE SAID POINT LOCATED IN THE WESTERLY BOUNDARY OF THAT CERTAIN TRACT OF LAND CONVEYED BY THE UNION PACIFIC COAL COMPANY DEED NO. 1464, DATED SEPTEMBER 5, 1950, TO ST. JOSEPH'S CEMETERY CORPORATION, FILED IN THE RECORDS OF SWEETWATER COUNTY CLERK'S OFFICE ON OCTOBER 11, 1950, IN BOOK 168, AT PAGES 543-544;

THENCE NORTH 89°41' WEST (BASIS OF BEARING), A DISTANCE OF 70.00 FEET TO A 3 ½ INCH BRASS CAP IN A 6 INCH SQUARE CONCRETE MONUMENT (BEING THE SECOND POINT IN THAT LEGAL DESCRIPTION FILED IN BOOK 525, PAGES 200-203 IN THE SWEETWATER COUNTY CLERK'S OFFICE, THE BEARING THEREIN BEING NORTH 89°41' WEST); THENCE NORTH 0°18'59" EAST, A DISTANCE OF 88.72 FEET TO THE NORTH LINE OF THAT PARCEL DESCRIBED IN THE PREVIOUS PARAGRAPH; THENCE SOUTH 89°08'52" EAST ALONG THE NORTH LINE OF THE AFOREMENTIONED PARCEL (THEREIN DESCRIBED AS SOUTH 89°48' EAST), A DISTANCE OF 70.00 FEET TO THE EAST LINE OF THE AFOREMENTIONED PARCEL; THENCE SOUTH 0°18'59" WEST ALONG SAID EAST LINE (DESCRIBED AS SOUTH 0°19' WEST IN THE AFOREMENTIONED LEGAL DESCRIPTION), A DISTANCE OF 88.04 FEET (IN THE AFOREMENTIONED LEGAL DESCRIPTION THE DISTANCE WAS 88.03 FEET) TO THE TRUE POINT OF BEGINNING.

SAID PARCEL CONTAINING 6,098 SQUARE FEET, MORE OR LESS.

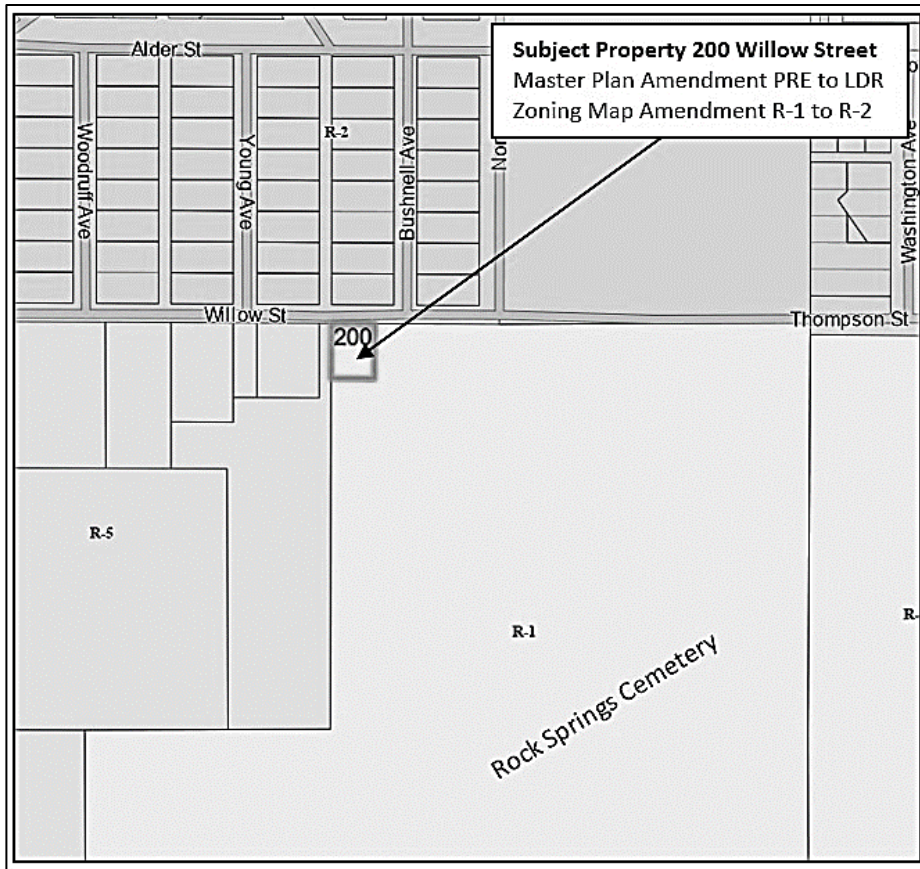
A **PUBLIC HEARING** will be held by the Rock Springs Planning and Zoning Commission, where all interested parties and citizens may appear and be heard regarding this request. Said public hearing will take place on **Wednesday, December 11, 2019 at 7:00 p.m.** in the City Hall Council Chambers, 212 'D' Street, Rock Springs, Wyoming. The public is invited to attend.

Dated this 27th day of November 2019.

(s) Laura Leigh, City Planner, Secretary to the Planning & Zoning Commission

Bill to: City of Rock Springs  
Publish: 11/27/2019





**Subject Property 200 Willow Street**  
Master Plan Amendment PRE to LDR  
Zoning Map Amendment R-1 to R-2

NOTE:  
LOCATION  
MAP WAS NOT  
PUBLISHED IN  
THE  
NEWSPAPER  
DUE TO A  
ROCKET  
MINER ERROR



# Planning & Zoning Commission

## Staff Report

December 11, 2019

7:00 p.m.

REPORT SUMMARY			
<b>Agenda Item:</b>	Public Hearing #2	<b>Project Number:</b>	PZ-19-00346 / PZ-19-00366
<b>Project Name:</b>	College Estates Subdivision Preliminary Plat (with Subdivision Variance)		
<b>Project Location:</b>	9.072 acres southwest of the College/Stagecoach Intersection		
<b>Project Description:</b>	Consideration of Preliminary Plat approval for the College Estates Subdivision, a proposed residential subdivision consisting of 27 lots. Consideration also requires recommendation of a Subdivision Variance for lot depth requirements and a second access.		
<b>Applicant:</b>	Gerhard Tschabitzer 1 <sup>st</sup> Arrow Corporation 6905 S 1300 E #277 Midvale, UT 84047-1817	<b>Property Owner:</b>	Gerhard Tschabitzer 1 <sup>st</sup> Arrow Corporation 6905 S 1300 E #277 Midvale, UT 84047-1817
<b>Engineer:</b>	Dan Kennedy, JFC 1682 Sunset Drive Rock Springs, WY 82901	<b>Surveyor:</b>	JFC 1682 Sunset Drive Rock Springs, WY 82901
<b>Public Notification:</b>	Adjacent Property Letters Mailed 11/21/19; Public Hearing Notice Published on 11/27/19		
<b>Current Master Plan Land Use Designation:</b>	C (Commerical)	<b>Proposed Master Plan Land Use Designation:</b>	LDR (Low Density Residential)
<b>Current Zoning District</b>	B-2 - Community Business B-2(CD) - Community Business (Conditional)	<b>Proposed Zoning District</b>	R-1 (Low Density Residential)
<b>References:</b>	Rock Springs Subdivision Ordinance §16-403 Conformity to Zoning Ordinance Rock Springs Subdivision Ordinance §16-502 Preliminary Plat Rock Springs Subdivision Ordinance §16-702 Subdivision Variance Rock Springs Subdivision Ordinance §16-905 Miscellaneous Standards		
<b>Exhibits:</b>	A. College Estates Preliminary Plat (Received 12/6/19) B. Preliminary Plat Application C. Utility Review Comment Forms D. Subdivision Variance Application E. Adjacent Property Owner Letter F. Public Hearing Notice		

## PETITION:

Gerhard Tschabitzer of 1<sup>st</sup> Arrow Corporation, has submitted a request for Preliminary Plat review of the College Estates Subdivision. Please note that this development was previously called the 1<sup>st</sup> Arrow Subdivision when it was reviewed at the Sketch Plat level. The goal is to develop the property as a 27 lot single family residential subdivision. The Preliminary Plat can be found in **Exhibit A**. Please refer to **Exhibit B** to review the submitted Preliminary Plat Application.

## PROPERTY LOCATION AND DESCRIPTION:

As shown in **Figure 1**, the property is located southwest of the College Drive and Stagecoach Blvd intersection and north of Arthur Park. The property is undeveloped. Adjacent land uses are as follows:

North – Vacant Land

South – One Single-Family Residence (3808 College Drive) and Arthur Park (City of Rock Springs)

East – Aspen Medical Center

West – Child Development Center (Sweetwater County)



Figure 1: Location Map



## MASTER PLAN LAND USE DESIGNATION AND ZONING:

As shown in **Figure 2**, the 2012 Master Plan Official Land Use Map shows that this property is designated as “C - Commercial”. Additionally, as shown in **Figure 3**, the property is currently zoned B-2 Community Business and B-2(CD) which is a conditional zoning district that allows all uses of the B-2 zoning district except for those specified by the Ordinance that adopted the zoning. In this case, all B-2 uses are permitted except: cigar and tobacco store, lumber yard, package liquor, sexually oriented businesses, tattoo parlor, taverns/bars/lounge, and tire recapping/retreading.

The next public hearing on the agenda is to formally consider the Master Plan Land Use Map Amendment and the Zone Change. In accordance with §16-502 of the Subdivision Ordinance, if a proposed subdivision requires a zoning change, the application for the zone change is to be submitted at the Preliminary Plat stage of the subdivision process.

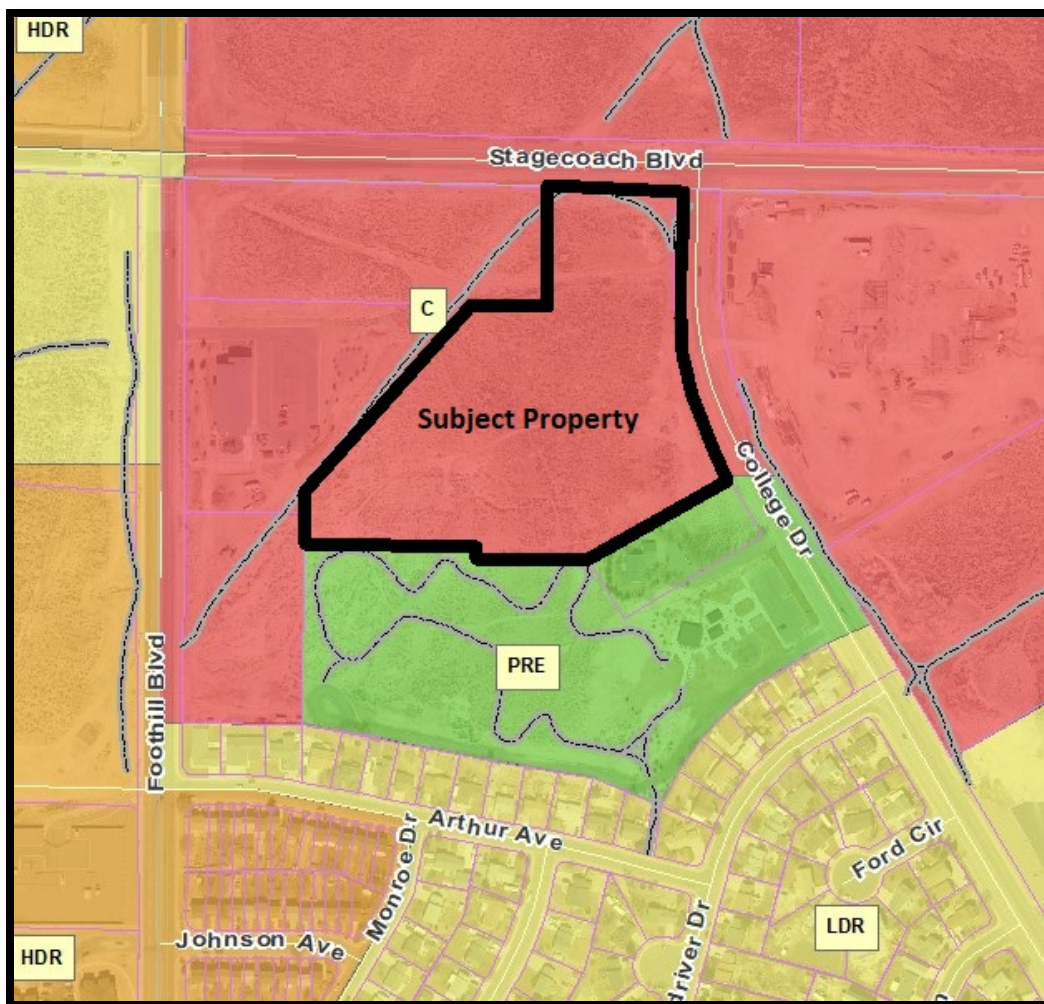


Figure 2: Land Use Plan

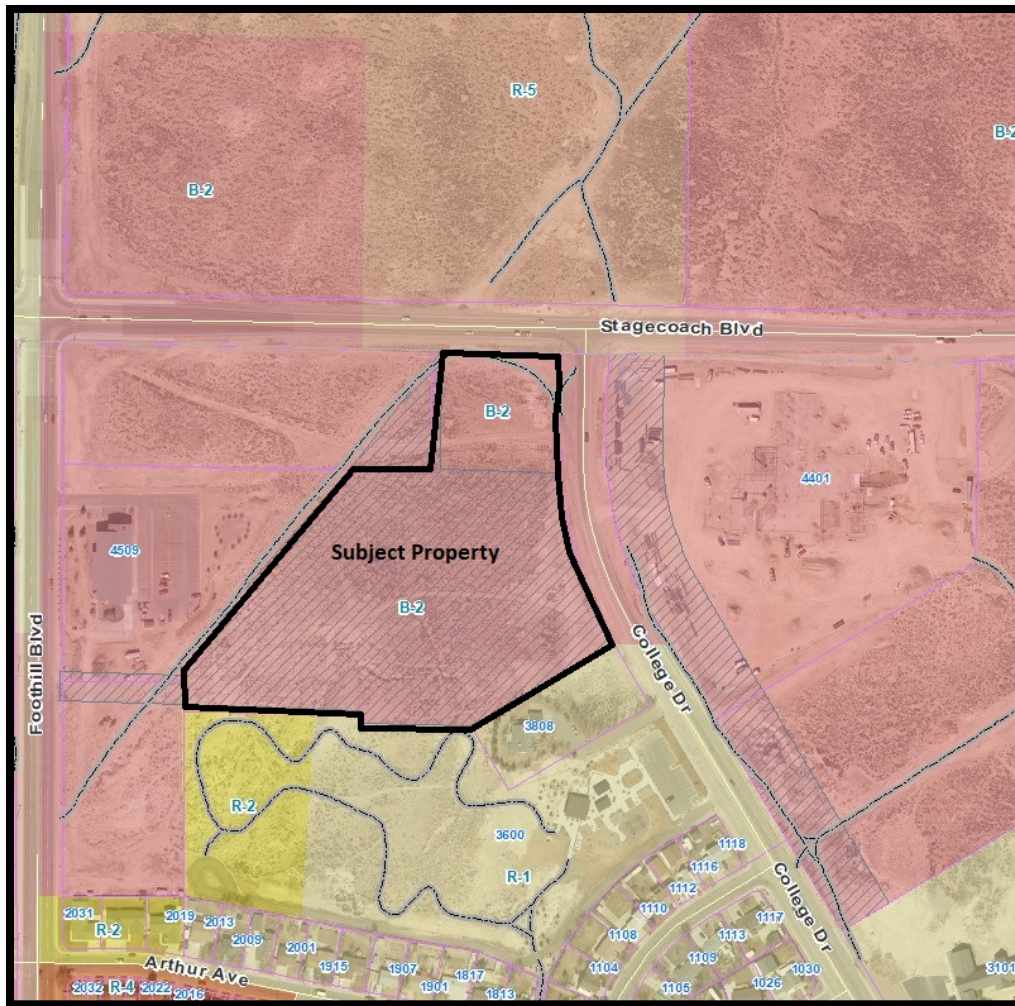


Figure 3: Zoning Map

## UTILITY REVIEW:

A Utility Review Meeting was held on November 26, 2019 to consider the Preliminary Development that was submitted on November 12, 2019. All of the comment forms can be found in **Exhibit C**. Several comments required revisions to the Preliminary Plat. A Revised Preliminary Plat was submitted on Thursday, December 5, 2019. The Revised Preliminary Plat has been routed to applicable parties for comments. Final comments will be provided to the Commission at the meeting. The Revised Preliminary Plat is the version that is included with this report.

## SUBDIVISION VARIANCES:

The Preliminary Plat does not comply with two sections of the Subdivision Ordinance and therefore, the developer is also requesting a Subdivision Variance (see attached Subdivision Variance Application in **Exhibit D**).

Subdivision Variance #1) §16-403 of the Rock Springs Subdivision Ordinance states that “all subdivision shall conform to the Zoning Ordinance and its map”. As noted previously, the developer is planning to have this property rezoned to an R-1 Zoning District with the intent of developing this property as a single family subdivision with site-built dwellings. The only zoning district that requires only site-built dwellings is the R-1

Zoning District. The R-1 Zoning District requires lots to have a minimum lot width of 70 feet, a minimum lot depth of 100 feet, and a minimum lot area of 7,000 square feet. Due to topography constraints, several of the lots as shown on Preliminary Plat will not meet the lot depth requirements of the R-1 Zoning District. It is important to note, however, that all of the lots within the subdivision still exceed the R-1 Zoning District minimum lot area requirement of 7,000 square feet. The smallest lot within the proposed subdivision is 9,080 square feet (Lot 15). In accordance with §16-905.(U).3. of the Rock Springs Subdivision Ordinance, “the lot dimensions shall not be less than the minimum required to secure the minimum lot area specified in the Zoning Ordinance.”

Subdivision Variance #2) §16-905.(I). of the Rock Springs Subdivision Ordinance states “subdivision shall be required to provide adequate street access to ensure the health, safety, and welfare of the residents and/or public. In addition, subdivision shall be required to provide adequate street access to allow development of adjacent property. When 20 lots or more are served by a single access, a second access should be considered.” As shown on the Preliminary Plat, the main access to the 27 lot development is off of College Drive. Due to the steep grade between the development and Foothill Blvd., a second street at this location would exceed the City’s street grade requirements. Although the Subdivision Ordinance requires the consideration of a second access point when there are over 20 lots, the adopted International Fire Code allows for up to 30 lots. To ensure adequate safety access into the subdivision, the developer is proposing an emergency access road in lieu of a street. This is acceptable to the Rock Springs Fire Inspector.

In accordance with Section 16-702 of the Rock Springs Subdivision Ordinance, subdivision variances are granted by the Rock Springs City Council after referral to the Planning Commission for comments and recommendations. If the subdivision variance is granted, the subdivider may incorporate the provisions of the variance into the Final Plat. In its review of the Final Plat, the Planning Commission shall be bound by the decision of the Rock Springs City Council in regard to the Subdivision Variance.

Should the Council elect not to approve the proposed Subdivision Variance, the applicant shall cause the Final Plat to conform to the subdivision ordinance.

#### **PUBLIC NOTIFICATION:**

Public Hearing Notice letters were mailed to property owners located within 200 feet of the boundaries of the subject property on November 21, 2019. Refer to Exhibit E.

A Public Hearing Notice was duly published in the Rock Springs Rocket Miner on Wednesday, November 27, 2019. Refer to Exhibit F.

To date, no comments have been received. Staff will advise the Commission of any comments received after the date of this report.

#### **PROCEDURE:**

The Planning and Zoning Commission’s recommendation will be forwarded to the Rock Springs City Council for consideration at a Public Hearing (tentatively scheduled for the January 7, 2020 meeting). Public Hearing Notice will once again be published in the Rocket Miner prior to the City Council Public Hearing. After the public hearing, the City Council will take action on the Preliminary Plat and Subdivision Variance by Resolution.

**STAFF RECOMMENDATION:**

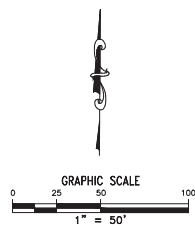
Staff will provide a formal recommendation after the public comment portion of the public hearing.

At a minimum, staff recommends the following conditions of approval be attached if approved:

- 1) All comments submitted by the Utility Review Committee shall be met.
- 2) The Final Plat shall conform to the Preliminary Plat and reflect the Subdivision Variance decision by the City Council.
- 3) The Final Plat shall not be submitted until the Master Plan Land Use Map Amendment and Zoning Map Amended are approved.














# PRELIMINARY PLAT COLLEGE ESTATES



**TABULATION**  
 CURENT ZONING-----B-2  
 TOTAL LAND AREA-----9.07 AC  
 PROPOSED LOTS  
 R-1-----27

**DEVELOPER**  
 1ST ARROW CORPORATION  
 69055 S. 1300 E. # 277  
 MIDVALE, UT 94047  
 PHONE: 801-793-5573

 LOT DRAINAGE DIRECTION  
 STREET/LOT DRAINAGE DIRECTION  
 --- 6200 --- EXISTING CONTOURS  
 --- W --- EXISTING WATERLINE  
 --- W --- PROPOSED WATERLINE  
 --- S5 --- EXISTING SEWER LINE  
 --- S5 --- PROPOSED SEWER LINE  
 --- G --- EXISTING GAS  
 --- S7S --- PROPOSED STORM SEWER  
 --- S7S --- EXISTING SEWER SEWER  
 PROPOSED STORM MANHOLE  
 PROPOSED SANITARY MANHOLE  
 PROPOSED WATER VALVE  
 PROPOSED FIRE HYDRANT  
 LIGHT POLE  
 FOUND ALUMINUM MONUMENT  
 FOUND BRASS CAP  
 FOUND ALUMINUM CAP  
 FOUND REBAR

A TRACT OF LAND LOCATED IN SECTION 27, RESURVEY TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE 12TH PRINCIPAL MERIDIAN, CITY OF ROCK SPRINGS, COUNTY OF SWEETWATER, STATE OF WYOMING, SAID TRACT IS A PORTION OF THE 1<sup>ST</sup> ARROW CORPORATION TRACT DESCRIBED IN BOOK 1001, PAGE 1370 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 27;

THENCE SOUTH 88°50'29" EAST ALONG THE NORTH LINE OF SAID SECTION 27 FOR A DISTANCE OF 827.31 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 88°50'29" EAST ALONG THE NORTH LINE OF SAID SECTION 27 FOR A DISTANCE OF 245.00 FEET TO A POINT WHICH LIES ON THE WESTERLY RIGHT-OF-WAY LINE OF COLLEGE DRIVE AS DEFINED IN THE DONATION QUITCLAIM DEED TO THE CITY OF ROCK SPRINGS FILED IN BOOK 800, PAGE 149 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK;

THENCE SOUTH 1°10'20" WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 177.51 FEET TO A POINT WHICH IS THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 766.20 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE AND ALONG SAID WESTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 32°07'12" FOR AN ARC DISTANCE OF 429.53 FEET;

THENCE SOUTH 30°56'52" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 14.85 FEET;

THENCE SOUTH 59°02'10" WEST FOR A DISTANCE OF 338.87 FEET;

THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 225.81 FEET;

THENCE NORTH 1°09'31" EAST FOR A DISTANCE OF 25.48 FEET;

THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 370.38 FEET TO A POINT WHICH LIES ON THE EASTERLY BOUNDARY OF THE CAL56, LLC/MADELINE L. SMITH TRACT AS RECORDED IN BOOK 1206, PAGE 1993 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK;

THENCE NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID CAL56, LLC/MADELINE L. SMITH TRACT FOR A DISTANCE OF 59.87 FEET TO THE SOUTHEAST CORNER OF THE SWEETWATER COUNTY TRACT DESCRIBED IN BOOK 1190, PAGE 1119;

THENCE CONTINUING NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 30.12 FEET;

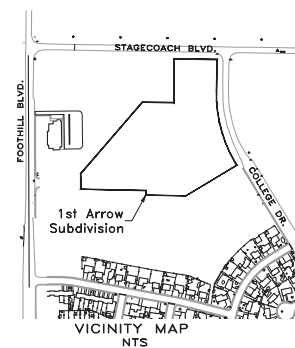
THENCE NORTH 40°49'58" EAST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 535.59 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT LIES ON THE SOUTHERLY BOUNDARY OF THE KEITH MILLS AND JANET JENSON TRACT DESCRIBED IN BOOK 1059, PAGE 644 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK;

THENCE SOUTH 88°50'29" EAST ALONG THE SOUTHERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 178.15 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE NORTH 0°00'00" EAST ALONG THE EASTERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 250.05 FEET TO THE NORTHEAST CORNER THEREOF AND THE TRUE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT CONTAINS AN AREA OF 9.072 ACRES AND IS SUBJECT TO ANY EASEMENTS AND OR RIGHTS-OF-WAY WHICH HAVE BEEN LEGALLY ACQUIRED.

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	56.84	180.00	018.0915	N68° 12' 40"E	56.60
C2	105.49	120.00	050.3657	S56° 05' 42"W	102.12
C3	10.39	80.00	007.4422	S44° 38' 00"W	10.38
C4	56.49	80.00	040.4583	S68° 35' 01"W	55.32
C5	3.41	80.00	002.4407	N89° 58' 01"W	3.41
C6	102.34	768.26	007.6323	S8° 58' 39"E	102.26
C7	94.47	768.26	007.0452	S16° 18' 59"E	94.44
C8	35.37	20.00	101.3220	N70° 10' 25"W	30.91
C9	115.66	868.26	007.6323	N8° 58' 39"W	115.57
C10	86.01	768.26	006.4148	S27° 34' 29"E	85.97
C11	60.72	768.26	004.5284	S22° 06' 12"E	60.70
C12	44.00	180.00	014.0055	N84° 15' 35"E	43.89
C13	18.53	180.00	005.8979	S85° 47' 19"E	18.52
C14	58.91	180.00	018.7519	S73° 27' 49"E	58.65
C15	51.63	120.00	024.6498	S76° 24' 46"E	51.23
C16	87.15	768.26	006.4993	S11° 54' 43"E	87.10
C17	36.65	20.00	105.0000	S11° 35' 16"E	31.73
C18	17.57	20.00	050.3431	N66° 04' 58"E	17.01
C19	26.05	20.00	074.6356	S51° 25' 44"E	24.25
C20	53.54	928.26	003.3045	S15° 45' 47"E	53.53
C21	53.54	928.26	003.3045	S19° 04' 04"E	53.53
C22	27.89	20.00	079.8853	S11° 13' 22"W	25.68
C23	67.22	120.00	032.0970	S75° 12' 50"W	66.35
C24	62.80	868.26	004.1441	N3° 05' 22"W	62.79
C25	21.74	20.00	062.2666	N30° 06' 57"E	20.68
C26	63.78	61.00	058.9114	N31° 17' 37"E	60.92
C27	85.79	61.00	080.5814	N38° 57' 10"W	78.89
C28	75.99	61.00	071.3785	S46° 11' 48"W	71.17
C29	14.36	20.00	041.1327	S20° 23' 38"E	14.05
C30	53.81	928.26	003.3211	S11° 29' 17"E	53.80
C31	54.79	61.00	051.4675	S15° 13' 35"E	52.97
C32	77.37	928.26	004.7759	S5° 32' 11"E	77.35
C33	34.62	20.00	099.0779	S41° 39' 52"W	30.46
C34	26.18	20.00	075.1000	S78° 24' 44"W	24.35
C35	101.62	868.26	006.7188	S16° 09' 11"E	101.76
C36	20.09	61.00	018.8707	N88° 40' 44"W	20.00



12/11/19 Report Packet Page 36

<b>DRAWN BY:</b> DRK
<b>CHECKED BY:</b> JBE
<b>SCALE:</b> AS NOTED
<b>DATE:</b> 12/5/19
<b>PROJECT NO:</b> 10189-19E
<b>SHEET NO:</b>

**JFC**  
**ENGINEERS**  
**SURVEYORS**

P.O. BOX 20276  
ROCK SPRINGS, WY 82902  
PHONE (307) 362-7519  
FAX (307) 362-1569  
<http://www.jfc-wyo.com>



EXHIBIT B



**CITY OF ROCK SPRINGS  
PRELIMINARY PLAT  
APPLICATION**

Planning & Zoning Division  
212 D Street  
Rock Springs WY 82901  
307.352.1540 (phone)  
307.352.1545 (fax)

**Staff Use Only:**

Date Received

11/12/19

File Number:

PZ-19-00346

Payment Information:

Amount Received:

\$350.00

Received by:

[Signature]

Cash or Check Number:

Receipt Number:

Date Certified as Complete Application:

By:

*\*Note: Applications will be scheduled for any utility review meeting or public hearing after the application is considered complete and meets the requirements of City Ordinances.*

**A. SUBDIVISION NAME:** College Estates

**B. CONTACT INFORMATION:**

**NOTE:** The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.

**Petitioner Information:**

Petitioner Name: Gerhard Tschabitzer

Company Name: 1st Arrow Corporation

Street Address: 6905 S1300 E #277

City: Midvale

State: UT

Zip Code: 84047-1817

Email Address: Gerhard@1starrowcorp.com

Phone Number: (801) 505-8048  
(including area code)

Fax Number: \_\_\_\_\_  
(including area code)

**Property Owner Information:**

Name: Gerhard Tschabitzer

Company Name: 1st Arrow Corporation

Street Address: 6905 S1300 E #277

City: Midvale

State: UT

Zip Code: 84047-1817

Email Address: Gerhard@1starrowcorp.com

Phone Number: (801) 505-8048  
(including area code)

Fax Number: \_\_\_\_\_  
(including area code)

**Engineer / Surveyor Information:**

Name: Dan Kennedy

Company Name: JFC Engineers & Surveyors

Street Address: 1682 Sunset Dr.

City: Rock Springs

State: WY

Zip Code: 82901

Email Address: dkennedy@jfc-wyo.com

Phone Number: (307) 362-7519  
(including area code)

Fax Number: \_\_\_\_\_  
(including area code)

**C. PLEASE ANSWER THE FOLLOWING ON THE SPACE PROVIDED:**

1. Acreage of property: 9.072 acres
2. Present zoning of property (if multiple zoning districts are included in the proposed subdivision, provide the acreage of each zoning district and show the zoning boundary: Present-Community Business (B-2)  
Proposed - Low Density Residential (R-1)
3. Number of phases and number of lots in each phase of the subdivision: 1 Phase with 27 Lots

**D. INSTRUCTIONS FOR FILING / SUBMITTAL CHECKLIST:**

This checklist must be completed and submitted as part of the Preliminary Plat Application. All items as listed within this checklist shall be submitted with the application and/or shown on the Preliminary Plat. Items that need to appear on the plat are listed under "Plat Items". Any missing information shall constitute an INCOMPLETE application. INCOMPLETE applications will be returned and will NOT be reviewed by the City of Rock Springs until a COMPLETE application is submitted.

- ☐ Preliminary Plat Application (including checklist) completed and signed. NOTE: It is mandatory that the property owner of record sign the application. Applications missing the property owner of record's signature shall be deemed as incomplete.
- ☐ Preliminary Plat Filing Fee. (\$350.00)
- ☐ 20 full size copies of the Preliminary Plat and all supporting documentation. In addition to the 20 full size copies, one reduced copy no larger than 11" x 17" must also be submitted.
- ☐ 1 – PDF scanned at full-size of Preliminary Plat drawing (submitted electronically to city\_planner@rswy.net)
- ☐ Legal description for the boundary of the property included in the Preliminary Plat. The legal description shall also be provided electronically in Word format or via email to city\_planner@rswy.net. The Legal Description shall appear on the Preliminary Plat and shall also be submitted on a separate sheet.
- ☐ A statement explaining the design and function of the water system, sewage system, paving, sidewalk, drainage systems, their compatibility with existing systems and the timing and/or phasing of installation.
- ☐ A statement describing the development and maintenance responsibility for any private streets, ways or open space.
- ☐ The recommendations of a qualified professional engineer or the affected Soil Conservation District regarding soil suitability, erosion control, sedimentation and flooding problems.
- ☐ A description of the phasing and scheduling of phases for the development if the Final Plat is to be submitted in separate phases. NOTE: The subdivision shall be developed in the order in which the phases are numbered on the Preliminary Plat. Changing phasing configuration shall require submittal of a revised Preliminary Plat.
- ☐ A petition for annexation to the City of Rock Springs if the land to be subdivided is not located within the City of Rock Springs and is contiguous to, either itself or as part of a larger tract, the boundaries of the City. (Separate document – contact the City of Rock Springs for a Petition for Annexation Application)
- ☐ An application for appropriate City zoning for the subdivided area if the area is to be annexed or if the existing zoning district does not allow the type of use proposed. (Separate document – contact the City of Rock Springs for the appropriate application).



#### ***E. PRELIMINARY PLAT ITEMS:***

- ☐ Prepared at a scale of 1" = 100' or larger for subdivision where the majority of lots are less than five (5) acres in size. The scale may be reduced to 1" = 200' for subdivision in which the minimum lot size is five (5) acres or more.
- ☐ The name of the subdivision. The name shall not duplicate or too closely resemble the name of any subdivision previously filed in the County.
- ☐ Date of preparation, scale and north arrow. The top of each sheet shall represent north wherever possible.
- ☐ A vicinity map, drawn at a scale of 1" = 1,000' or 1" = 2,000', showing the location of the proposed subdivision in the City and its relationship to surrounding development.
- ☐ The names, addresses, and phone number of the developer or subdivider, and the individual or firm responsible for the preparation of the Preliminary Plat.
- ☐ A legal description of the subdivision boundary.
- ☐ The boundary lines of the subdivision in a heavy, solid line and referenced to section or quarter section lines.
- ☐ A description of all monuments both found and set, which mark the boundary of the subdivision, and a description of all control monuments used in the survey.
- ☐ Existing contours at a maximum interval of two (2) feet unless waived by the City Engineer.
- ☐ General location and extent of any significant natural features such as streams or drainage ways.
- ☐ Floodplains (and Floodways) as delineated on maps provided by the Federal Emergency Management Agency (Flood Insurance Rate Map – FIRM).
- ☐ Location, dimensions, and names of existing roads, streets, alleys, railroad rights-of-way and structures within 100 feet immediately adjacent showing how they relate to the proposed subdivision layout.
- ☐ Location, size, and grades of existing sanitary and storm sewers and location and size of water mains, gas lines, pipelines, or other underground utilities or installations within one hundred (100) feet immediately adjacent thereto.
- ☐ Location and dimensions of all easements of record (include recording information).
- ☐ Existing zoning and land use of proposed subdivision and immediately adjacent areas.
- ☐ Location and width (size) of proposed water and sewer lines, fire hydrants, streets, alleys, pedestrian ways, easements and all necessary appurtenances.
- ☐ Layout, numbers and approximate dimensions (including square footage) of the proposed lots and blocks. Do not number blocks; number lots consecutively within phases.
- ☐ Location, dimension and size in acres of all sites proposed to be used for commercial, industrial, multi-family residential, public or quasi-public use, with the use noted.
- ☐ A summary of the total number of acres, number of lots, acreage of commercial or industrial areas, acreage of open space, amount of land in rights-of-way or other descriptive material useful in reviewing the proposed subdivision. – NOTE: if the subdivision is a phased subdivision, this information shall also be provided per phase.
- ☐ The drainage plan for each lot must be shown. Arrows indicating the direction of drainage, along with any easements or retaining wall structures must be included.

### Preliminary Plat Design Criteria Checklist:

The following checklist outlines the design criteria to be considered when laying out the subdivision. This checklist must be completed and submitted as part of the Preliminary Plat Application. Some items listed in this checklist will not be necessary until the Final Plat or at the time of construction; however, it is important to know about them at this time. The layout of the subdivision shall conform to the following:

- ☐ Official Street Map - The arrangement, character, extent, width, grade, and location of all streets shall be in conformity with the Official Map of the City of Rock Springs, these regulations and any further plans adopted by the City. Refer to Section 16-805.J. of the Rock Springs Subdivision Ordinance.
- ☐ Rights-of-Way Widths - For all rights-of-way, the widths shall not be less than the following minimum design standards:

Street Type	Right-of-Way Width
Arterial	100 feet
Major Collector	80 feet
Minor Collector	80 feet
Minor and Residential	60 feet
Cul-de-sac	60 feet

- ☐ Roadway Widths - The minimum travel lane widths, number of travel lanes, the minimum parking lane widths and number of parking lanes shall be as follows:

Street Type	Travel Lane Width	Number of Lanes	Parking Lane Width	Number of Parking Lanes
Arterial	12	5	5 ½ *	2
Major Collector	12	3	8	2
Minor Collector	12	3	8	2
Minor and Residential	11	2	8	2
Cul-de-sac	11	2	8	2

\*Emergency Lanes Only

- ☐ Curb and Gutter - The following design criteria for curbs and gutters shall be required:

Street Type	Curb and Gutter Width	Type
Arterial	2.5	L
Major Collector	2.5	L
Minor Collector	N/A	N/A
Minor and Residential	2.5	Rolled Curb
Cul-de-sac	2.5	Rolled Curb

- ☐ Sidewalks - The following design criteria for sidewalks shall be required:

Street Type	Width	Side	Location
Arterial	5	As directed by Engineer	
Major Collector	4	Both	Adjacent to Curb
Minor Collector	N/A	N/A	N/A
Minor and Residential	4	Both	Adjacent to Curb
Cul-de-sac	4	Both	Adjacent to Curb



- ☐ Construction Standards - All construction shall conform to the Wyoming Public Works Standard Specifications and the City of Rock Springs test requirements.

Street Type	Asphalt	Base Course	Sub Base	Sub Grade Prep
Residential	2 ½"	6"	----	6"
Collector Streets	2 ½"	8"	----	6"
Arterial Streets	3"	10"	----	6"
Industrial Streets	3"	10"	8"	6"

- ☐ Inspections and Test Requirements - The subdivider shall provide an Engineering Inspector to conduct inspections and Field Tests for all construction and improvements included and required by this Section. The Engineering Inspector shall work under the direction of a Professional Engineer, licensed in the State of Wyoming. All reports shall be certified by the Professional Engineer. All inspections and tests shall be conducted and noted in an orderly manner as construction occurs.
- ☐ Following completion of the improvements, the subdivider shall provide to the City Engineer a report certified by the Professional Engineer. The report shall certify the following criteria:
- The test results required by Section 16-904(B) of this Ordinance. All test results must meet requirements of the Ordinance.
  - Size, location, and slope of sanitary sewer lines.
  - Location and elevation of manholes.
  - Size and location of storm drainage lines and catch basins.
  - Size and location of water lines, valves, and fire hydrants.
  - Construction of all streets, including sub-grade preparation, road base, asphalt paving, concrete curb-gutter-sidewalk, and street grades.
- ☐ Dust Control - A dust control plan must be submitted to the City Engineer for approval before any construction begins.
- ☐ Manholes - The maximum allowable distance between manholes is 350 feet.
- ☐ Street name signs - Height: 7.0' mounting height. Corner: NE corner, sign clearance - two feet behind sidewalk, or as directed by City Engineer.
- ☐ Street traffic signs - Height: 7.0' mounting height
- ☐ Fire Hydrants - Fire Hydrants shall be constructed with the center of the pumper outlet 16" – 20" above grade facing the roadway, two 2 ½" outlets, one 4 ½" pumper outlet, National Standard threads.
- ☐ Street Light Standards - All street light standards shall be of wood or steel construction. (Ord. No. 92-18, 8-4-92).
- ☐ Discouraging Residential Through Traffic - Minor residential streets shall be arranged so that their use by through traffic will be discouraged.
- ☐ Block Depths - No block shall be less than twice the normal lot depth unless it abuts a railroad right-of-way, a limited access highway, an arterial or collector street, a river, a creek, a park, or an exterior boundary line of a subdivision.
- ☐ Block Lengths - Blocks shall be approximately four hundred (400) feet in length or increments thereof. In blocks exceeding eight hundred (800) feet in length a twenty (20) foot wide easement shall be included throughout the block to provide for utilities and pedestrian traffic. A five foot wide paved sidewalk may also be required.



- ☐ **Street Alignment, Center Lines** - Street jogs shall have a minimum centerline off-set of one hundred seventy-five (175) feet when applied to minor residential streets, in all other cases they shall be prohibited. All streets shall join each other so that for a distance of at least one hundred (100) feet the street is approximately at right angles to the street it joins. When connecting street center lines deflect from each other at any one point by more than ten (10) degrees, they shall be connected by a curve with a radius of not less than one hundred fifty (150) feet.
- ☐ **Access Requirements for Subdivisions** - Subdivisions shall be required to provide adequate street access to ensure the health, safety, and welfare of the residents and/or the public. In addition, subdivisions shall be required to provide adequate street access to allow development of adjacent property. When 20 lots or more are served by a single access, a second access should be considered.
- ☐ **Dead End Streets** - The creation of dead-end or loop residential streets will be encouraged wherever the Commission finds that such type of development will not interfere with normal traffic circulation in the area. In the case of dead-end streets, where needed or desirable, the Commission may require the reservation of a twenty (20) foot wide easement to provide for continuation of pedestrian traffic and utilities to the next street.
- ☐ **Where dead-end streets are designed** they shall not exceed eight hundred (800) feet in length or contain more than twenty (20) lots, whichever creates the shorter street, and shall terminate in a circular turn-around having a minimum right-of-way radius of sixty (60) feet and a pavement radius of fifty (50) feet (Cul-de-sac). Corners at the entrances to the turn-around portions of cul-de-sacs shall have a radius of not less than fifteen (15) feet.
- ☐ **Treatment Along Major Streets** - When a subdivision abuts or contains an existing or proposed arterial, the Commission shall require marginal access streets, reverse frontage with screen planting contained in a non-access reservation along the rear property line, deep lots with rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to afford separation of through and local traffic. The same may be required on collector streets where deemed in the best interest of the community.
- ☐ **Service Streets** - Where a subdivision borders on or contains a railroad right-of-way or limited access highway right-of-way, existing or planned, the Commission may require a street approximately parallel to and on each side of such right-of-way, at a distance suitable for the appropriate use of the intervening land.
- ☐ **Street Grades** - Grades of all streets shall conform in general to the terrain and shall not be less than 0.5 percent nor more than five (5) percent for arterial or major streets, or seven (7) percent for collector streets, or eight (8) percent for minor streets in residential zones, eight (8) percent for access streets, but in no case more than three (3) percent within fifty (50) feet of any intersection.
- ☐ **Street Visibility** - A combination of steep grades and curves shall be avoided. In order to provide visibility for traffic safety, that portion of any corner lot (whether at an intersection entirely within the subdivision or of a new street with an existing street) shall be cleared of all growth (except isolated trees) and obstructions above the level three (3) feet higher than the center line of the street for a distance of at least thirty (30) feet from the right-of-way line. If directed, ground shall be excavated to achieve visibility. Trees and hedges over four (4) feet high shall not be permitted within six (6) feet of the street right-of-way.
- ☐ **Street Radii:**
  - **Curves:** Street lines within a block, deflecting from each other at any one point by more than ten (10) degrees, shall be connected with a curve, the radius of which for the centerline of street shall not be less than four hundred (400) feet on arterial and major streets, two hundred (200) feet on minor streets, and in no case shall the connecting tangent of two curves be less than one hundred (100) feet.
  - **Corners:** All roadways at intersections shall be rounded by curves of at least twenty (20) feet radius. Roadways of alley-street intersections shall be rounded by a radius of not less than six (6) feet. The center line of the intersecting streets shall be as near to ninety (90) degrees as possible and in no case shall the intersection be less than seventy-five (75) degrees.



- ☐ Commercial Areas - In front of areas designed for commercial use, or where a change of zoning to a zone which permits commercial use is contemplated, the street width shall be increased by such amount on each side as may be deemed necessary by the Commission to assure the free flow of through traffic without interference by parked or parking vehicles, and to provide adequate and safe parking space for such commercial or business districts.
- ☐ Street Names - All street names shall be approved by the Commission and shall conform to an established numbering and naming system if such a system exists. Proposed street names shall be substantially different so as not to be confused in sound or spelling with present names except that streets that join or are in alignment with streets of an abutting or neighboring subdivision shall bear the same name.
- ☐ No street shall change direction by more than ninety (90) degrees without a change in street name.
- ☐ The subdivider shall install street signs as required and approved by the Engineer.
- ☐ Prohibited Plans - The following are prohibited and shall not be approved:
  - Half Streets.
  - Private streets unless part of an approved Planned Unit Development, in which case the streets shall conform to the approved design criteria of the City.
  - Reserve strips controlling access to streets.
  - Intersections with more than four (4) corners.
- ☐ Public Land Dedication, Parks, Open-Space.
  - Where a proposed park, playground, or open-space shown on the Comprehensive Plan is located in whole or in part in a subdivision, the Commission shall require that such area or areas be shown on plats in accordance with the requirements specified in this Section. Such area or areas shall be dedicated to the City by the subdivider if the City Council approves such dedication.
  - The Commission shall require that plats show sites of a character, extent and location suitable for the development of a park, playground, or other recreation purpose.
  - In all new residential subdivisions, seven (7) percent of the gross area shall be dedicated for public recreation space, school sites or other public use with such percentage being in addition to property dedicated for streets, alleys, easements, or other public ways. When a subdivision is too small for the practical dedication of public land, when no land in the subdivision is suitable for such use, or when the proposed park for the area is not to be located within the proposed subdivision, the subdivider shall be required to pay a fee of ten (10) percent of the land value prior to its subdivision (the market value shall be determined by utilization of assessment records and formulas that apply thereto) as a "fee-in-lieu-of" park dedication fee.
- ☐ Street Improvements To Be Designated - No subdivision plat shall be approved unless the subdivider has designated street improvements for the entire front of all interior lots, and the entire front and side of all corner lots.
- ☐ Easements.
  - Easements centered on rear and other lot lines as required shall be provided for utilities where and of the size necessary.
  - Easements shall be provided along each side of the center line of any water course or drainage channel whether or not shown in the Comprehensive Plan, to a sufficient width to provide proper maintenance and protection and to provide for water run-off and installation and maintenance of storm sewer.
  - Where a subdivision is traversed by a water course, drainageway, channel or stream, there shall be provided a storm water easement or drainage right-of-way as required by the Engineer.
  - Easements shall be dedicated for the required use and so noted on the plat.
- ☐ Lots, Design, and Location.
  - The lot arrangement shall be such that in constructing a building in compliance with the Zoning Ordinance, there will be no foreseeable difficulties for reasons of topography or other natural conditions. Lots should not be of such depth as to encourage the later creation of a second building lot at the front or rear.



- All side lines of a lot shall be at right angles to straight street lines and radial to curved street lines, unless a variance from this rule will give a better street or lot plan.
- The lot dimensions shall not be less than the minimum required to secure the minimum lot area specified in the Zoning Ordinance. Through lots, when permitted, shall have additional depth of ten (10) feet for screen planting along the rear line. Remnants of lots below the minimum required size shall not be allowed but must be added to adjacent lots.
- Lots abutting upon a watercourse, drainageway, channel, stream or water body shall have additional depth or width, as required to assure that house sites are not located in the one hundred (100) year floodplain.
- In the subdividing of any land, regard shall be shown for all natural features, such as trees, watercourses and bodies, which, if preserved, will add attractiveness to the proposed development.
- Where a proposed residential lot is adjacent to a limited access highway, major highway or arterial street, there shall be no direct vehicular access from individual lots to such roads. A temporary entrance may be granted for single tracts until neighboring land is subdivided and the required access can be feasibly provided. (Ord. No. 1980, 1-17-72; Rev. Ord. 1979; Ord. No. 83-6, 4-19-83).

#### ***F. PRELIMINARY PLAT REVIEW PROCEDURE:***

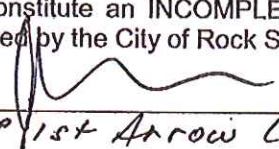
- ❖ Within three (3) working days of submittal, the Planning Department shall review the application for conformance with the Preliminary Plat submittal requirements. If the application does not conform to the submittal requirements, the application will be deemed as incomplete, the subdivider will be notified and the application will be returned.
- ❖ Agency Review – After it is determined that a complete Preliminary Plat submittal has been made, the Planning Department shall refer material to appropriate agencies for review and comment (a utility review meeting will be held).
- ❖ At least fifteen (15) days prior to the date of the Planning and Zoning Commission public hearing, the City shall publish notice of the time, date, place and purpose of the hearing in the official newspaper of the City of Rock Springs.
- ❖ At least seven (7) days prior to the Planning and Zoning Commission at which the plat is to be considered, the Planning Department shall notify the owners of subdivided and unplatted land within 200 feet of the boundaries of the proposed subdivision of the time and date of the meeting.
- ❖ The Planning and Zoning Commission shall review the Preliminary Plat at a public hearing. In reviewing the Preliminary Plat, the Commission shall consider oral or written statements from the applicant, the public, City staff, and the Commission. The Commission may recommend approval, conditional approval, disapproval or may table the Preliminary Plat.
- ❖ Approval of the Preliminary Plat by the Planning and Zoning Commission shall remain effective for 12 calendar months. A Preliminary Plat which has not received approval of the City Council within 12 calendar months following Planning and Zoning Commission approval shall be subject to the requirements of Section 16-502.I. (Preliminary Plat public hearing). The subdivider may apply in writing for, and the Commission may, for cause shown, grant a six month extension to the 12 month period.
- ❖ After receiving a recommendation by the Planning and Zoning Commission and any required revisions are submitted and reviewed, at least fifteen (15) days prior to the date of the City Council public hearing, the City shall publish notice of the time, date, place and purpose of the hearing in the official newspaper of the City of Rock Springs.
- ❖ The City Council shall review the Preliminary Plat at a public hearing. In reviewing the Preliminary Plat, the Council shall consider oral or written statements from the applicant, the public, City staff, and the Commission. The Council may approve, conditionally approve, deny or table the Preliminary Plat.
- ❖ Approval of the Preliminary Plat by the City Council shall remain effective for 18 calendar months from the date of approval. The subdivider may apply in writing for, and the Council may, for cause shown, grant a six month extension. If a Final Plat has not been submitted within this specified period on all or a portion of the land area included in the Preliminary Plat, a Preliminary Plat must be resubmitted for approval.
- ❖ In a phased development, any land area for which a Preliminary Plat has been approved and for which a Final Plat has not been submitted within sixty (60) months from the date of the approval of the Preliminary Plat, shall not be allowed to proceed with final platting until a new Preliminary Plat is submitted and approved.



**G. SIGNATURE(S) REQUIRED:**

I acknowledge that I have read and understand this application and the pertinent regulations. I further agree if the application is approved, I will comply with all pertinent regulations and conditions as set forth by the City of Rock Springs. I certify that the information provided with this application is true and correct. I further certify that I understand that any missing items shall constitute an INCOMPLETE application and that INCOMPLETE applications will be returned and will NOT be reviewed by the City of Rock Springs until a complete application is submitted.

Signature of Petitioner

  
V.P. 1st Arrow Corp.

Date 11/5/2019

Signature of Owner

Date \_\_\_\_\_

Signature of Engineer



Date 11/12/19

EXHIBIT C

Rock Springs Utility Review Meeting  
Date November 26, 2019

**PLEASE PRINT** your name, department/company, and phone number below.

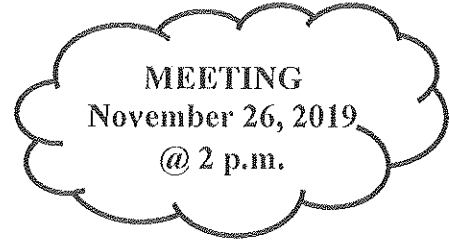
Name	Department/Company	Phone
Gene Legenki	SWCO	307-872-3921
Clint Zambai	RS Water	307-352-1405
Don Kennedy	JFL	(307)362-7519
Lance Garcia	Dominion Energy	307-350-0421
Les Frommel	Dominion Energy	307-708-0841
Justin Stewart	WRF	307-352-1466
Meghan Jackson	Eng.	352-1540
Mark Lyon	Trucks	352-1400
Kyle Graham	RMP	352 5207
Caura Leigh	RS Planning	352-1540



Department of Public Services  
212 D Street, Rock Springs, WY 82901  
Office [307] 352-1540 • FAX [307] 352-1545

## UTILITY REVIEW - COMMENT SHEET

To: Utility Review Committee  
From: Laura Leigh, City Planner  
Date: November 19, 2019  
Project #: PZ-19-00346  
Project Name: College Estates Preliminary Plat (f.k.a. 1<sup>st</sup> Arrow Subdivision)  
Project Address: Southwest of the College Drive and Stagecoach Blvd. intersection  
Property Description/Zoning: 9.072 acres - Current Zoning is B-2 & B-2(CD) – Proposed Zoning is R-1  
Project Description: Preliminary Plat Application for a 27 lot single-family subdivision  
Master Plan Amendment request from C-Commercial to LDR-Low Density Residential  
Zone Change request from B-2/B-2(CD) to R-1



**Please submit this comment sheet no later than 5:00 p.m. on the due date referenced in your email notification.**

I Laura Leigh (name) have reviewed the plans on behalf of RS Planning  
(Dept./Organization) for the above-referenced project.

Email: laura.leigh@rsny.net Phone #: 307 352-1540

Please check as applicable:

☐ No issues - plans approved as submitted.

☒ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

See attached

☒ Other Comments/Issues (attach separate sheet if necessary):

See attached

Laura Leigh  
Signature of Reviewer

11/26/19  
Date

☐ Please provide me with a copy of the Revised Plans for review.

## Preliminary Plat Review – Planning Comments 11/25/2019

- Incomplete legend
- Submittal requirement: A description of all monuments both found and set, which mark the boundary of the subdivision, and a description of all control monuments used in the survey
- Point of Beginning not shown or labeled.
- Curve table?
- Show points of beginning and end of curve segments
- Show lot width at the setback line for Lots 3, 4, and 8
- Show building envelopes for Lots 9, 17 and 20
- Label Right-of-way width of street ending in cul-de-sac. What is the cul-de-sac right-of-way width?
- Correct Lot 284 to read Lot 19
- Missing lot dimension on line between Lot 21 and Lot 22
- Street jog is not at right angle for a distance of 100 feet.
- How does the drainage easement function?
- Is another sanitary sewer line required where missing?
- Sizes of existing and proposed water and sewer lines – not shown
- Label proposed street names
- How will drainage in center portion be addressed? There appears to be existing drainages through these lots.
- How will vision at College/Stagecoach intersection be addressed?
- Note on final plat that individual lot access will not be permitted onto College Drive
- A Subdivision Variance Application is required to be submitted for all items that do not comply with the subdivision/zoning ordinance (i.e. number of lots over 20, lot depth, etc.) This must be submitted no later than 5:00 p.m. on December 2, 2019.



## UTILITY REVIEW - COMMENT SHEET



To: Utility Review Committee  
From: Laura Leigh, City Planner  
Date: November 19, 2019  
Project #: PZ-19-00346  
Project Name: College Estates Preliminary Plat (f.k.a. 1<sup>st</sup> Arrow Subdivision)  
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Project Description: Preliminary Plat Application for a 27 lot single-family subdivision  
Master Plan Amendment request from C-Commercial to LDR-Low Density Residential  
Zone Change request from B-2/B-2(CD) to R-1

**Please submit this comment sheet no later than 5:00 p.m. on the due date referenced in your email notification.**

I Clint Zambai (name) have reviewed the plans on behalf of RS Water  
(Dept./Organization) for the above-referenced project.

Email: \_\_\_\_\_ Phone #: 307-352-1405

Please check as applicable:

☐ No issues - plans approved as submitted.

☒ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

The T north of lot 2 will need a valve added  
to the west side.

☐ Other Comments/Issues (attach separate sheet if necessary):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Clint Zambai  
Signature of Reviewer

11/26/19  
Date

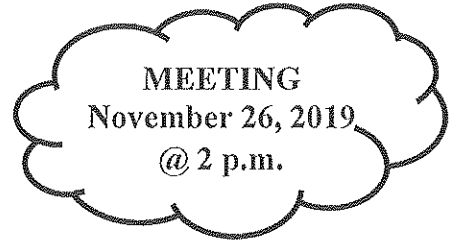
☐ Please provide me with a copy of the Revised Plans for review.



Department of Public Services  
212 D Street, Rock Springs, WY 82901  
Office [307] 352-1540 • FAX [307] 352-1545

## UTILITY REVIEW - COMMENT SHEET

To: Utility Review Committee  
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Date: November 19, 2019  
Project #: PZ-19-00346  
Project Name: College Estates Preliminary Plat (f.k.a. 1<sup>st</sup> Arrow Subdivision)  
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Zone Change request from B-2/B-2(CD) to R-1



**Please submit this comment sheet no later than 5:00 p.m. on the due date referenced in your email notification.**

I Gene Legerski (name) have reviewed the plans on behalf of Sweetwater County Public Works  
(Dept./Organization) for the above-referenced project.

Email: legerski@sweet.wy.us

Phone #: 307-872-3921

Please check as applicable:

☐ No issues - plans approved as submitted.

☒ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

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☒ Other Comments/Issues (attach separate sheet if necessary):

A drainage easement will need to be obtained from SWCO and CIG to drain across their easement and our property

A complete drainage report showing the capacity of the existing storm sewer system and the new subdivisions  
affect on the system will need to be submitted to the SWCO Public Works office for approval

The emergency access shall be designed in such a way as to not cause any storm water runoff to enter the  
CDC property.

Signature of Reviewer

Date

11/26/2019

☐ Please provide me with a copy of the Revised Plans for review.

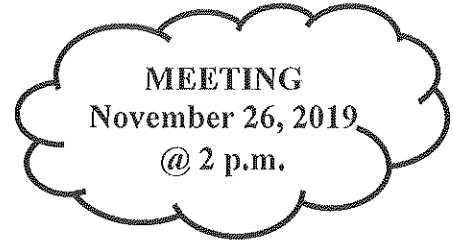




Department of Public Services  
212 D Street, Rock Springs, WY 82901  
Office [307] 352-1540 • FAX [307] 352-1545

## UTILITY REVIEW - COMMENT SHEET

To: Utility Review Committee  
From: Laura Leigh, City Planner  
Date: November 19, 2019  
Project #: PZ-19-00346  
Project Name: College Estates Preliminary Plat (f.k.a. 1<sup>st</sup> Arrow Subdivision)  
Project Address: Southwest of the College Drive and Stagecoach Blvd. intersection  
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Zone Change request from B-2/B-2(CD) to R-1



**Please submit this comment sheet no later than 5:00 p.m. on the due date referenced in your email notification.**

I Justin Stewart (name) have reviewed the plans on behalf of WRF  
(Dept./Organization) for the above-referenced project.

Email: justin\_stewart@rswy.net Phone #: (307)352-1466

Please check as applicable:

☒ No issues - plans approved as submitted.

☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

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☒ Other Comments/Issues (attach separate sheet if necessary):

Construction Plans must meet city and DEQ standards and be submitted for approval

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Justin B. Stewart  
Signature of Reviewer

11/26/19  
Date

☐ Please provide me with a copy of the Revised Plans for review.



Department of Engineering and Operations

Proposed Development: **College Estates Preliminary Plat**

**Date: 11/26/2019**

The submitted plans are approved subject to the following conditions:

1. All Public streets shall be designed and constructed to meet minimum **residential street standards** as follow: 60' ROW, 38 ft. edge of pvmt. to edge of pvmt. width., 3 in. asphalt, 6" base course, 6" sub grade prep., 4' sidewalk, 2-1/2 ft. roll type curb/gutter.
2. Install handicap ramps in accordance with the latest ADA requirements.
3. All construction standards shall be in accordance with Chapter 16 Section 9. Please note additional testing requirements given in Chapter 16-904(B).
4. Submit drainage and soils report, grading plan, and construction drawings by final plat. Drainage plan will be further reviewed based on more information.
5. Ten foot drainage easement (lots 12-16) may not be needed or only needed on some of the lots. Drainage easement may or will be required on SW County property. Maintenance of easement will be designated to SW County.
6. Street layouts, intersections, etc., shall be in accordance with Chapter 16 Section 9, particularly Section 905 H, M, and O.
7. If adequate lighting does not exist, Developer shall install lights at their cost.
8. Obtain NPDES permit.
9. Design and construction in accordance with City of Rock Springs Ordinances.

Additional Comments:

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✓

**Please provide me with a copy of the revised plans for review.**

Meghan Jackson

A handwritten signature in black ink, appearing to read "MJ", followed by a horizontal line.

Civil Engineer I

Department of Engineering and Operations



Department of Public Services  
212 D Street, Rock Springs, WY 82901  
Office [307] 352-1540 • FAX [307] 352-1545

## UTILITY REVIEW - COMMENT SHEET

To: Utility Review Committee  
From: Laura Leigh, City Planner  
Date: November 19, 2019  
Project #: PZ-19-00346  
Project Name: College Estates Preliminary Plat (f.k.a. 1<sup>st</sup> Arrow Subdivision)  
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Zone Change request from B-2/B-2(CD) to R-1



**Please submit this comment sheet no later than 5:00 p.m. on the due date referenced in your email notification.**

I STEVEN KOURBELAS (name) have reviewed the plans on behalf of Rock Springs Fire Dept.  
(Dept./Organization) for the above-referenced project.

Email: Steven-Kourbelas@RSWY.net

Phone #: 307-352-1484

Please check as applicable:

- ☐ No issues - plans approved as submitted.
- ☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

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☒ Other Comments/Issues (attach separate sheet if necessary):

- Access Road okay by IFC width & grade D103.1 & 2  
- IF locked gates need to comply with D103.5  
+ IF NO ACCESS ROAD - TURN AROUND REQUIRED. According to Table D103.4  
- Dead end roads cannot exceed 150 ft without turnaround.  
- Freeline Access Signs. Both sides of roadway in accordance with D103.6  
D103.6.1

Signature of Reviewer

11-26-19  
Date

☐ Please provide me with a copy of the Revised Plans for review.



BRS, Inc.

1130 Major Ave.

Riverton, WY 82501

E-Mail: [brs@brsengineering.com](mailto:brs@brsengineering.com)

307-857-3079 Fax: 307-857-3080

**City of Rock Springs, Wyoming  
Utility Review  
Wyoming Abandoned Mine Lands**

To: Utility Review Committee  
From: Ryan Reed, BRS Inc., P.E.  
Date: 11/26/2019  
Project #: PZ-19-00346  
Project Address: Southwest of the College Drive and Stagecoach Blvd. intersection

I, Ryan Reed, have reviewed the Project location(s) in relation to potential for abandoned mine subsidence and determined:

- ☐ Property is undermined by abandoned mine workings at an approximate depth of \_\_\_\_\_
- ☐ Property is adjacent to abandoned mine workings at an approximate depth of \_\_\_\_\_
- ☒ Property is not impacted by any known abandoned mine workings.

Based upon potential for abandoned mine subsidence:

- ☐ It is Recommended that Remediation efforts be made at the Project location(s).
- ☐ It is Recommended that Exploratory Drilling be completed at the Project location(s).
- ☒ No Remediation Action is necessary at this time.

Other Comments/Issues:


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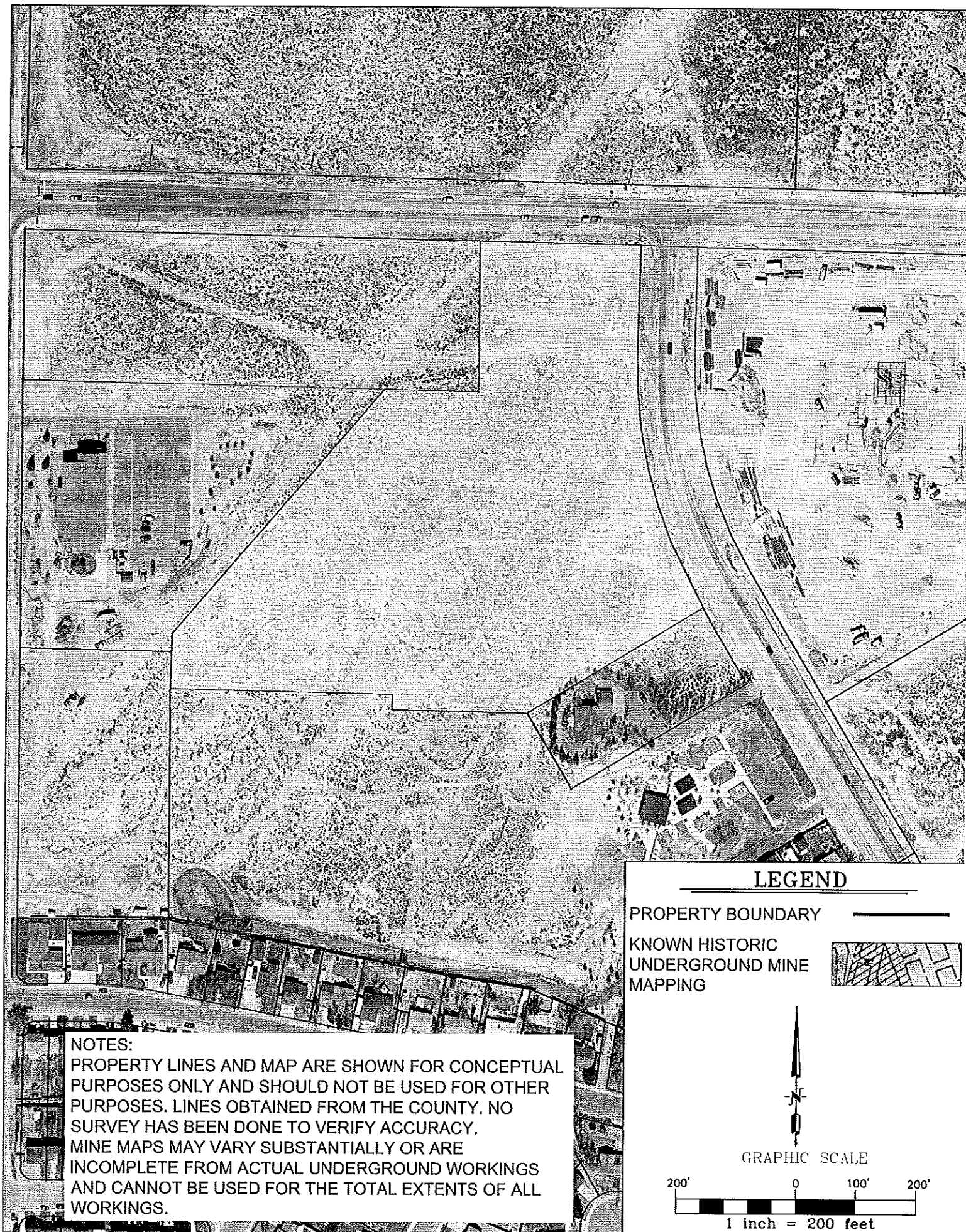
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\_\_\_\_\_  
Signature

11/26/19  
\_\_\_\_\_  
Date



NOTES:  
PROPERTY LINES AND MAP ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY AND SHOULD NOT BE USED FOR OTHER PURPOSES. LINES OBTAINED FROM THE COUNTY. NO SURVEY HAS BEEN DONE TO VERIFY ACCURACY. MINE MAPS MAY VARY SUBSTANTIALLY OR ARE INCOMPLETE FROM ACTUAL UNDERGROUND WORKINGS AND CANNOT BE USED FOR THE TOTAL EXTENTS OF ALL WORKINGS.

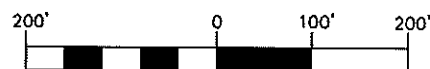
## LEGEND

PROPERTY BOUNDARY

KNOWN HISTORIC  
UNDERGROUND MINE  
MAPPING



GRAPHIC SCALE

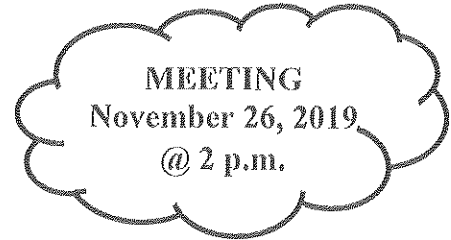


1 inch = 200 feet



## UTILITY REVIEW - COMMENT SHEET

To: Utility Review Committee  
From: Laura Leigh, City Planner  
Date: November 19, 2019  
Project #: PZ-19-00346  
Project Name: College Estates Preliminary Plat (f.k.a. 1<sup>st</sup> Arrow Subdivision)  
Project Address: Southwest of the College Drive and Stagecoach Blvd. intersection  
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Project Description: Preliminary Plat Application for a 27 lot single-family subdivision  
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Zone Change request from B-2/B-2(CD) to R-1



**Please submit this comment sheet no later than 5:00 p.m. on the due date referenced in your email notification.**

I Kyle Graham (name) have reviewed the plans on behalf of Rocky Mountain Power  
(Dept./Organization) for the above-referenced project.

Email: kyle.graham@rockymountainpower.net Phone #: 307 352 5207

Please check as applicable:

☐ No issues - plans approved as submitted.

☐ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

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☒ Other Comments/Issues (attach separate sheet if necessary):

Many utilities west of college outside of road ROW.  
Will need Easements for where the power will go inside or  
outside of Development (Can use franchise in city road ROW)  
Will look at possible line route possibilities.  
RMP does not want to bring power from foothills.

Signature of Reviewer

11-26-19  
Date

☐ Please provide me with a copy of the Revised Plans for review.





Department of Public Services  
212 D Street, Rock Springs, WY 82901  
Office [307] 352-1540 • FAX [307] 352-1545

## UTILITY REVIEW - COMMENT SHEET

To: Utility Review Committee  
From: Laura Leigh, City Planner  
Date: November 19, 2019  
Project #: PZ-19-00346  
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Zone Change request from B-2/B-2(CD) to R-1



**Please submit this comment sheet no later than 5:00 p.m. on the due date referenced in your email notification.**

I Mark D. Lyon (name) have reviewed the plans on behalf of Parks  
(Dept./Organization) for the above-referenced project.

Email: MARK-LYON@RSWY.NET Phone #: 307-381-9537

Please check as applicable:

☐ No issues - plans approved as submitted.

☒ Revisions required to the Site Plan/Plat/Drawing (attach separate sheet if necessary):

FENCING REQUIRED ALONG PARK PROPERTY.

☐ Other Comments/Issues (attach separate sheet if necessary):

Mark D. Lyon  
Signature of Reviewer

11/26/2019  
Date

☐ Please provide me with a copy of the Revised Plans for review.

EXHIBIT D



2019  
CITY OF ROCK SPRINGS  
SUBDIVISION VARIANCE  
APPLICATION

Planning & Zoning Division  
212 D Street  
Rock Springs WY 82901  
307.352.1540 (phone)  
307.352.1545 (fax)  
Jennifer Shields, City Planner  
Denise Boudreault, Asst City Planner

City Use Only:

Date Received 12/4/19 File Number: PZ-19-00366  
Payment Information:  
Amount Received: 25.00 Received by: [Signature]  
Cash or Check Number: 4440 Receipt Number: \_\_\_\_\_  
Date Certified as Complete Application: \_\_\_\_\_ By: \_\_\_\_\_

A. SUBDIVISION NAME: College Estates

B. CONTACT INFORMATION:

NOTE: The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.

Petitioner Information: Petitioner Name: Gerhard Tschabitzer  
Company Name: 1st Arrow Corporation  
Street Address: 6905 S 1300 E #277  
City: Midvale State: UT Zip Code: 84047-1817  
Email Address: Gerhard@1starrowcorp.com  
Phone Number: (801) 505-8048 Fax Number: \_\_\_\_\_  
(Including area code) (Including area code)

Property Owner Information: Name: \_\_\_\_\_  
Company Name: \_\_\_\_\_  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Email Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax Number: \_\_\_\_\_  
(Including area code) (Including area code)

Engineer / Architect Information: Name: Dan Kennedy  
Company Name: JFC Engineers & Surveyors  
Street Address: 1682 Sunset Dr.  
City: Rock Springs State: WY Zip Code: 82901  
Email Address: dkennedy@jfc-wyo.com  
Phone Number: (307) 362-7519 Fax Number: (307) 362-7569  
(Including area code) (Including area code)

## **VARIANCE JUSTIFICATION**

Variance from 13-801 C. Table of Development Standards. The lot depth was discussed the City Planner prior to applying to the zone change of R-1. Due to the property shape several lots would not meet the minimum depth of 100 feet. It was an option to rezone to R-3 to accommodate the lot depth with restrictions in the subdivision covenants. The City Planner requested that if the intent is for single family site-built homes that the subdivision be R-1. This provides the City the authority to regulate the development.

Variance from 16-905 I. Access Requirements for Subdivisions. Due to the property shape a second access is not feasible onto College Drive or Stagecoach Boulevard. The possibility of a second access to Foothill has two issues. The existing high-pressure gas line prohibits access from meeting city standards for road grades. There are also concerns about having through traffic in the subdivision to avoid signaled intersections.

**Requests for Subdivision Variance shall be submitted concurrently with a Preliminary Plat submittal. After review of the Preliminary Plat by the Rock Springs Planning and Zoning Commission, the request for Subdivision Variance will be reviewed by the Rock Springs City Council along with review of the Preliminary Plat. In granting a subdivision variance, the Council may impose such conditions as will insure substantial compliance with the objectives and standards of the City's subdivision ordinance. If the subdivision variance is granted, the Subdivider may incorporate the provisions of the variance into the Final Plat. The Planning & Zoning Commission shall be bound by the decision of the Council regarding the variance and shall review and approve the Final Plat with the variance if the plat in all other aspects conforms to the Preliminary Plat and any other conditions imposed by the Planning & Zoning Commission.**

**C. PLEASE ANSWER THE FOLLOWING ON THE SPACE PROVIDED:**

1. Acreage of property: 9.0722 acres
2. Present Zoning of the Property: B-2
3. Variance Requested (note Ordinance and Section Numbers):  
Lot depth less than 100' 13-801 C Table of Development Standards  
Single access to the Subdivision 16-905 I Access Requirement for Subdivisions
4. Variance Justification: Provide a written description of the reason the variance is needed (*attach a separate sheet if necessary*).  
See Attachment

**D. SUBMITTAL REQUIREMENTS:**

**NOTE:** The following items are required for submitting a complete Subdivision Variance Application. An incomplete application will not be reviewed and will be returned to the petitioner.

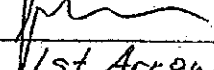
- ☐ Filing Fee (\$25.00).
- ☐ Completed Subdivision Variance Application Form (*submitted concurrently with the Preliminary Plat*).

**E. SUBMITTAL DEADLINES:**

Subdivision Variance applications shall be submitted concurrently with a Subdivision Preliminary Plat Application. Please review the Subdivision Preliminary Plat Application for submittal deadlines.

**F. SIGNATURE(S) REQUIRED:**

I acknowledge that I have read and understand this application and the pertinent regulations (Section 16-702 of the Ordinances of the City of Rock Springs). I further agree that if the Subdivision Variance is approved, I will comply with all pertinent regulations and conditions as set forth by the City of Rock Springs. I certify that the information provided with this application is true and correct.

Signature of Applicant   
V.A. 1st Arrow Corp.

Date 4 Dec. 2019

Signature of Owner \_\_\_\_\_

Date \_\_\_\_\_

Signature of Engineer/Architect 

Date 12/4/19



November 21, 2019

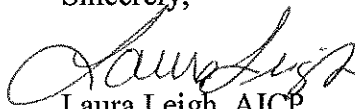
Dear Property Owner or Interested Party:

This letter is to inform you that a request has been filed with the City of Rock Springs by Gerhard Tschabitzer of 1st Arrow Corporation (property owner), and represented by JFC Engineers & Surveyors, for **PRELIMINARY PLAT** approval for the College Estates Subdivision, a proposed 27 lot, single-family residential subdivision in the City of Rock Springs. Please refer to the attached Preliminary Plat and the location diagram below. Records show that this property is adjacent to or near property you own.

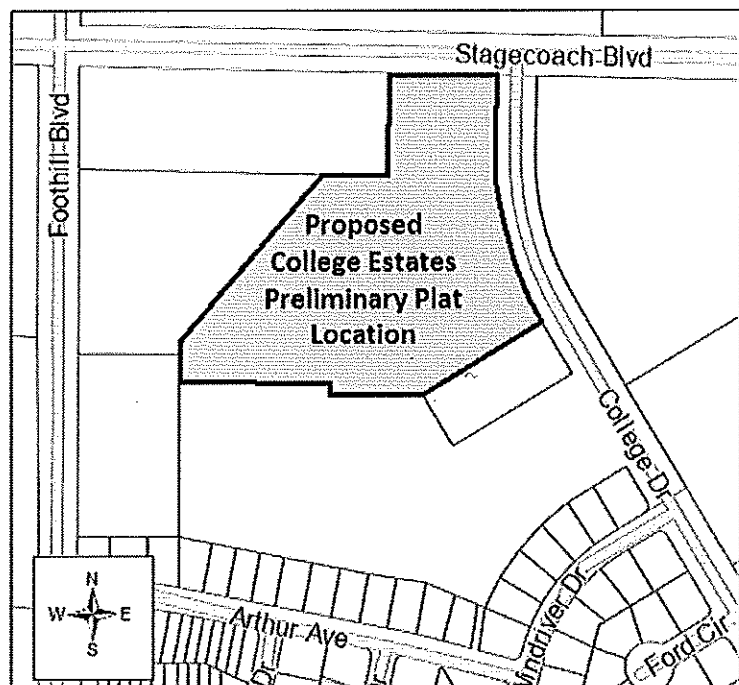
The Preliminary Plat stage of the subdivision process is the Public Hearing stage for all proposed subdivisions within the City of Rock Springs. The Rock Springs Planning and Zoning Commission will review this Preliminary Plat request at a **Public Hearing on Wednesday, December 11, 2019 at 7:00 p.m.** in the Rock Springs City Hall Council Chambers, 212 'D' Street.

Interested persons or parties are encouraged to attend the meeting or submit written comments. Written comments will be accepted no later than noon on December 11, 2019.

Sincerely,

  
Laura Leigh, AICP  
City Planner

Enc.







1ST ARROW CORP  
6905 S 1300 E # 277  
MIDVALE, UT 84047-1817

ASPEN MOUNTAIN REAL ESTATE LLC  
11221 ROE AVE STE 300  
LEAWOOD, KS 66211-1941

CAL56 LLC & SMITH MADELINE L C/O  
LEFOR MANAGEMENT INC  
200 PARK RD  
BURLINGAME, CA 94010-4206

CITY OF ROCK SPRINGS  
212 D ST  
ROCK SPRINGS, WY 82901-6235

MILLS KEITH R & JENSON JANET I  
4410 J CROSS AVE  
GILLETTE, WY 82718-4168

RLX INC  
6905 S 1300 E #277  
MIDVALE, UT 84047-1817

STASSINOS MARY  
3808 COLLEGE DR  
ROCK SPRINGS, WY 82901-3503

SWEETWATER COUNTY  
80 W FLAMING GORGE WAY STE 109  
GREEN RIVER, WY 82935-4252

JFC Engineers & Surveyors  
1682 Sunset Drive  
Rock Springs, WY 82901

## EXHIBIT F

### PUBLIC HEARING NOTICE

**TAKE NOTICE** that a request has been filed with the City of Rock Springs by Gerhard Tschabitzer of 1<sup>st</sup> Arrow Corporation (property owner) and represented by JFC Engineers & Surveyor for **PRELIMINARY PLAT** approval for College Estates, a proposed 27 lot, single family residential subdivision in the City of Rock Springs.

The property is generally located southwest of the College Drive/Stagecoach Blvd. intersection and is legally described as follows:

A TRACT OF LAND LOCATED IN SECTION 27, RESURVEY TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ROCK SPRINGS, COUNTY OF SWEETWATER, STATE OF WYOMING, SAID TRACT IS A PORTION OF THE 1ST ARROW CORPORATION TRACT DESCRIBED IN BOOK 1001, PAGE 1370 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 27; THENCE SOUTH 88°50'29" EAST ALONG THE NORTH LINE OF SAID SECTION 27 FOR A DISTANCE OF 827.31 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 88°50'29" EAST ALONG THE NORTH LINE OF SAID SECTION 27 FOR A DISTANCE OF 245.00 FEET TO A POINT WHICH LIES ON THE WESTERLY RIGHT-OF-WAY LINE OF COLLEGE DRIVE AS DEFINED IN THE DONATION QUITCLAIM DEED TO THE CITY OF ROCK SPRINGS FILED IN BOOK 800, PAGE 149 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK; THENCE SOUTH 1°10'20" WEST ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 177.51 FEET TO A POINT WHICH IS THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 766.20 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE AND ALONG SAID WESTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 32°07'12" FOR AN ARC DISTANCE OF 429.53 FEET; THENCE SOUTH 30°56'52" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 14.85 FEET; THENCE SOUTH 59°02'10" WEST FOR A DISTANCE OF 338.87 FEET; THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 225.81 FEET; THENCE NORTH 1°09'31" EAST FOR A DISTANCE OF 25.48 FEET; THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 370.38 FEET TO A POINT WHICH LIES ON THE EASTERLY BOUNDARY OF THE CAL56, LLC/MADELINE L. SMITH TRACT AS RECORDED IN BOOK 1206, PAGE 1993 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK; THENCE NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID CAL56, LLC/MADELINE L. SMITH TRACT FOR A DISTANCE OF 59.87 FEET TO THE SOUTHEAST CORNER OF THE SWEETWATER COUNTY TRACT DESCRIBED IN BOOK 1190, PAGE 1119; THENCE CONTINUING NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 30.12 FEET; THENCE NORTH 40°49'58" EAST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 535.59 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT LIES ON THE SOUTHERLY BOUNDARY OF THE KEITH MILLS AND JANET JENSON TRACT DESCRIBED IN BOOK 1059, PAGE 644 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK; THENCE SOUTH 88°50'29" EAST ALONG THE SOUTHERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 178.15 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE NORTH 0°00'00" EAST ALONG THE EASTERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 250.05 FEET TO THE NORTHEAST CORNER THEREOF AND THE TRUE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT CONTAINS AN AREA OF 9.072 ACRES AND IS SUBJECT TO ANY EASEMENTS AND OR RIGHTS-OF-WAY WHICH HAVE BEEN LEGALLY ACQUIRED.

A **PUBLIC HEARING** will be held by the Rock Springs Planning and Zoning Commission, where all interested parties and citizens may appear and be heard regarding this request. Said public hearing will take

place on **Wednesday, December 11, 2019 at 7:00 p.m.** in the City Hall Council Chambers, 212 'D' Street, Rock Springs, Wyoming. The public is invited to attend.

Dated this 27th day of November 2019.

(s) Laura Leigh, City Planner, Secretary to the Planning & Zoning Commission

Bill to: City of Rock Springs

Publish: 11/27/2019



NOTE:  
LOCATION  
MAP WAS NOT  
PUBLISHED IN  
THE  
NEWSPAPER  
DUE TO A  
ROCKET  
MINER ERROR



# Planning & Zoning Commission Staff Report

December 11, 2019

7:00 p.m.

REPORT SUMMARY			
<b>Agenda Item:</b>	Public Hearing #3	<b>Project Number:</b>	PZ-19-00347
<b>Project Name:</b>	1 <sup>st</sup> Arrow - Master Land Use Plan Amendment and Zoning Amendment		
<b>Project Location:</b>	9.072 acres southwest of the College/Stagecoach Intersection		
<b>Project Description:</b>	Consideration of a Master Land Use Plan Amendment from C to LDR and a Zoning Map Amendment from B-2 and B-2(CD) to R-1 for the purpose of developing a residential subdivision (College Estates)		
<b>Applicant:</b>	Gerhard Tschabitzer 1 <sup>st</sup> Arrow Corporation 6905 S 1300 E #277 Midvale, UT 84047-1817	<b>Property Owner:</b>	Gerhard Tschabitzer 1 <sup>st</sup> Arrow Corporation 6905 S 1300 E #277 Midvale, UT 84047-1817
<b>Engineer:</b>	Dan Kennedy, JFC 1682 Sunset Drive Rock Springs, WY 82901	<b>Surveyor:</b>	JFC 1682 Sunset Drive Rock Springs, WY 82901
<b>Public Notification:</b>	Adjacent Property Letters Mailed 11/21/19; Public Hearing Notice Published on 11/27/19		
<b>Current Master Plan Land Use Designation:</b>	C (Commerical)	<b>Proposed Master Plan Land Use Designation:</b>	LDR (Low Density Residential)
<b>Current Zoning District</b>	B-2 - Community Business B-2(CD) - Community Business (Conditional)	<b>Proposed Zoning District</b>	R-1 (Low Density Residential)
<b>References:</b>	2012 Master Plan, Section ES.6 Plan Amendments 2012 Master Plan, Table 3.3 2012 Master Plan, Map 3.1 Rock Springs Zoning Ordinance §13-801 Residential Zoning Districts Rock Springs Zoning Ordinance §13-808 Community Business Zone Rock Springs Zoning Ordinance §13-901 Procedure for Amendments		
<b>Exhibits:</b>	A. Application B. Warranty Deed C. College Estates Preliminary Plat D. Adjacent Property Owner Letter E. Public Hearing Notice		

## PETITION:

Gerhard Tschabitzer of 1<sup>st</sup> Arrow Corporation, has submitted a Master Plan Amendment and Zoning Map Amendment application for a 9.072 acre parcel that lies southwest of the College Drive and Stagecoach Blvd intersection. The request is to amend the Master Plan Land Use designation of this property from C (Commercial) to LDR (Low Density Residential). The request is also to amend the Official Zoning Map of the City of Rock Springs to change the zoning designation of this property from B-2 (Community Business) and B-2(CD) (Conditional Community Business) to R-1 (Low Density Residential) for the purpose of developing the College Estates Subdivision. Please refer to **Exhibit A** to review the submitted application.

## PROPERTY LOCATION AND DESCRIPTION:

As shown in **Figure 1** and **Figure 2**, the property is located southwest of the College Drive and Stagecoach Blvd intersection and north of Arthur Park. The property is unplatted (located outside of a recorded subdivision) and is undeveloped.

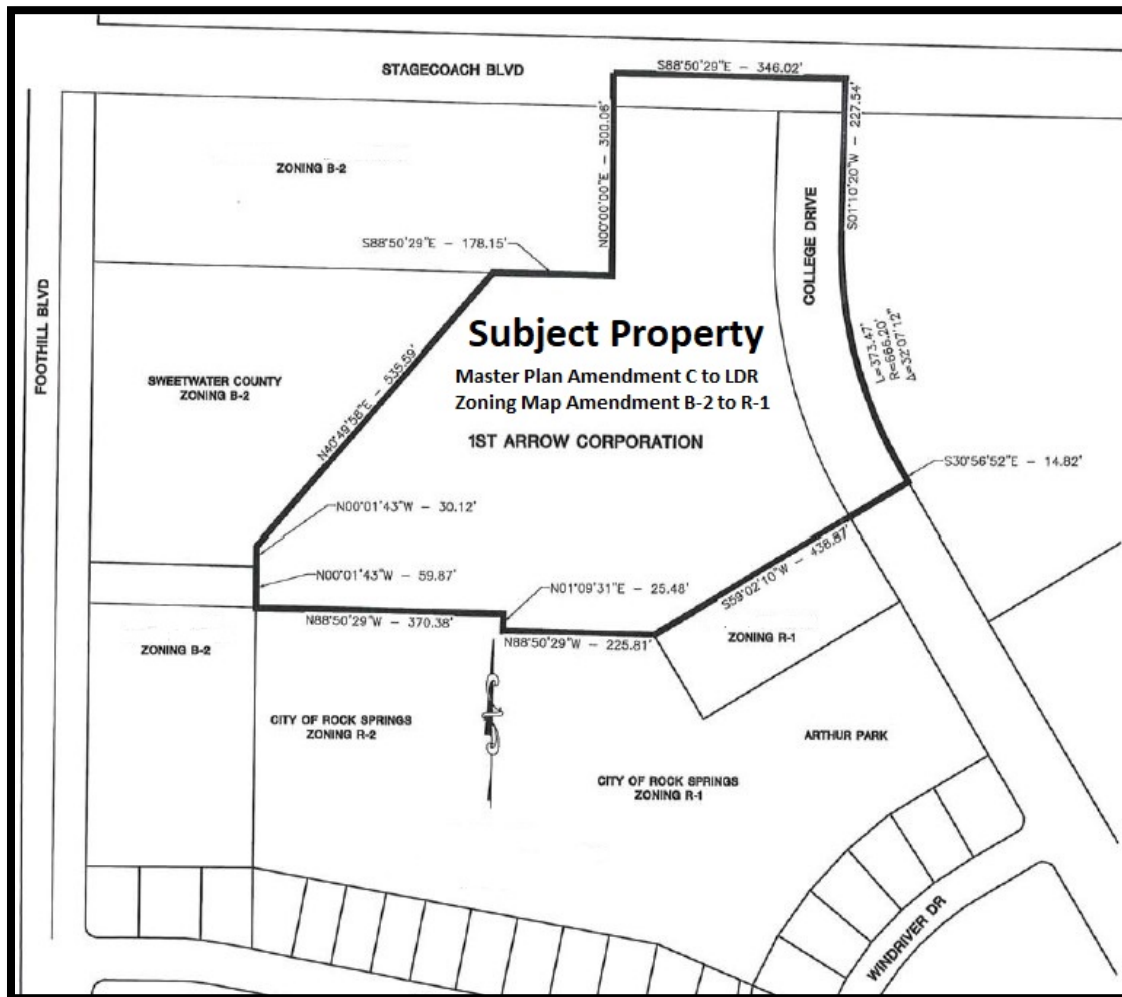


Figure 1: Location Map





Figure 2: 2015 Aerial Map

## ADJACENT LAND USES:

As shown in the 2015 Aerial Photo (**Figure 2**), adjacent land uses are as follows:

North – Vacant Land

South – One Single-Family Residence (3808 College Drive) and Arthur Park (City of Rock Springs)

East – Aspen Medical Center

West – Child Development Center (Sweetwater County)

## LEGAL DESCRIPTION:

A copy of the current Warranty Deed with the legal description is attached in **Exhibit B**. The property is legally described as follows:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 27; THENCE NORTH  $87^{\circ}47'45''$  EAST FOR A DISTANCE OF 827.81 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 88°50'29" EAST FOR A DISTANCE OF 346.02 FEET; THENCE SOUTH 1°10'20" WEST FOR A DISTANCE OF 227.54 FEET TO A POINT WHICH IS THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 666.20 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE AND ALONG THE EASTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 32°07'12" FOR AN ARC DISTANCE OF 373.47 FEET; THENCE SOUTH 30°56'52" EAST ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 14.82 FEET; THENCE SOUTH 59°02'10" WEST FOR A DISTANCE OF 438.87 FEET; THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 225.81 FEET; THENCE NORTH 1°09'31" EAST FOR A DISTANCE OF 25.48 FEET; THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 370.38 FEET TO A POINT WHICH LIES ON THE EASTERLY BOUNDARY OF THE CAL56, LLC/MADELINE L. SMITH TRACT AS RECORDED IN BOOK 1206, PAGE 1993 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK; THENCE NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID CAL56, LLC/MADELINE L. SMITH TRACT FOR A DISTANCE OF 59.87 FEET TO THE SOUTHEAST CORNER OF THE SWEETWATER COUNTY TRACT DESCRIBED IN BOOK 1190, PAGE 1119; THENCE CONTINUING NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 30.12 FEET; THENCE NORTH 40°49'58" EAST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 535.59 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT LIES ON THE SOUTHERLY BOUNDARY OF THE KEITH MILLS AND JANET JENSON TRACT DESCRIBED IN BOOK 1059, PAGE 644 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK; THENCE SOUTH 88°50'29" EAST ALONG THE SOUTHERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 178.15 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE NORTH 0°00'00" EAST ALONG THE EASTERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 300.06 FEET TO THE NORTHEAST CORNER THEREOF AND THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT CONTAINS AN AREA OF 10.832 ACRES AND IS SUBJECT TO ANY EASEMENTS AND OR RIGHTS-OF-WAY WHICH HAVE BEEN LEGALLY ACQUIRED.

## 2012 MASTER PLAN

The current Rock Springs land use plan was adopted by the Governing Body on May 7, 2013 and is called "The City of Rock Springs 2012 Master Plan: Today's Plan for Tomorrow's Future". When an applicant desires to rezone a property, the first thing staff determines is whether or not the proposed rezoning will comply with the Official Land Use Map of the 2012 Master Plan. As noted in §13-901 of the Rock Springs Zoning Ordinance, the City Council may change the zoning of property within the City for the purpose of meeting the land use needs of the residents of the City in conformance with the City's Land Use Plan (Master Plan).

As shown in **Figure 3**, the 2012 Master Plan Official Land Use Map shows that this property is designated as "C - Commercial". The "C - Commercial" land

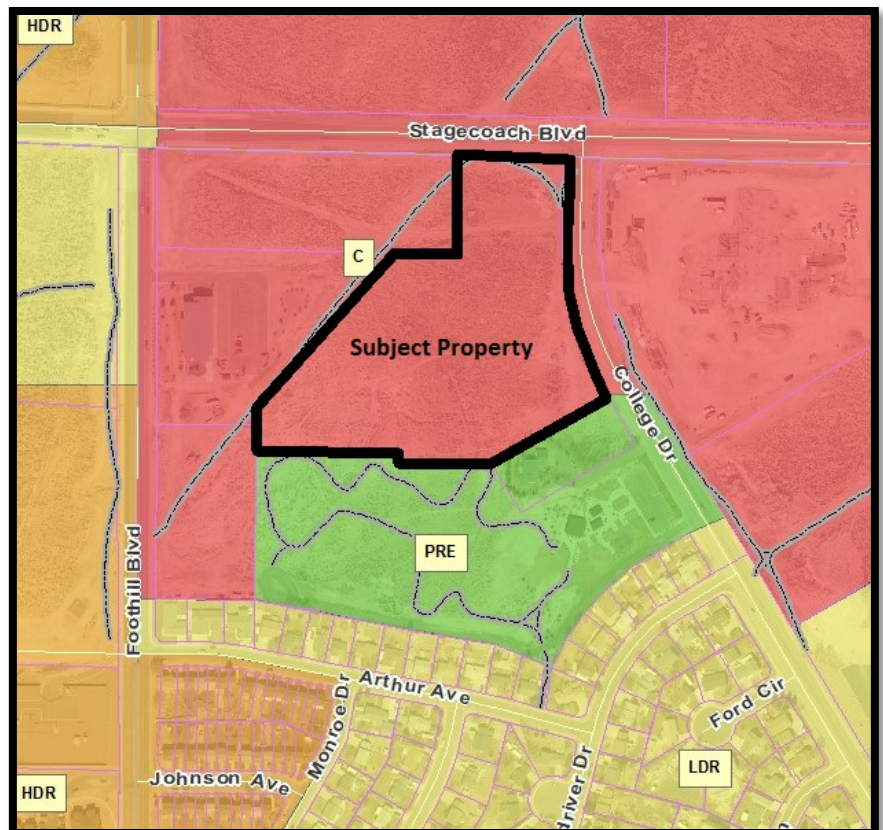


Figure 3: Land Use Plan

use designation is defined as “automobile-oriented commercial development, as well as high intensity residential development” (2012 Master Plan, Table 3.3). Compatible zoning districts within the “C” land use designation include B-2 Community Business and R-5 High Density Residential.

As shown in **Figure 3**, to the north, east and west of the property are also designated as C (Commercial). South of the subject property is designated PRE (Parks, Recreation, Environmental).

The applicant is desiring to rezone the property to an R-1 zoning district for the purpose of developing the College Estates subdivision. The R-1 zoning district is compatible with the LDR – Low Density Residential land use designation. LDR (Low Density Residential) is defined in the 2012 Master Plan as “low intensity residential development at densities ranging from 0.5 to 7 dwelling units per acre” (2012 Master Plan, Table 3.3). Compatible zoning districts within the LDR land use designation include R-E, R-1, R-2, and R-3.

#### **MASTER PLAN AMENDMENT REVIEW:**

As Section ES.6 of the *Master Plan* states, amendments to the plan or accompanying maps may be made from time to time, provided that the following findings can be made:

- (1) The proposed amendment represents an overall improvement to the character of the community and meets the general intent of the plan; and
- (2) The proposed amendment benefits the community at large and not an individual party or parties; and
- (3) The proposed amendment will not cause adverse impacts on the general health, safety and welfare of the community, nor of neighboring residents; and
- (4) The proposed amendment is keeping with the plan’s vision, mission and goals; and
- (5) The proposed amendment is the minimum amendment necessary and is not of such a scope that an extensive update of the plan is required.

#### **ZONING AMENDMENT**

As shown in **Figure 4**, the property is currently zoned B-2 Community Business and B-2(CD) which is a conditional zoning district that allows all uses of the B-2 zoning district except for those specified by the Ordinance that adopted the zoning. In this case, all B-2 uses are permitted except: cigar and tobacco store, lumber yard, package liquor, sexually oriented businesses, tattoo parlor, taverns/bars/lounge, and tire recapping/retreading.

North of the subject property is zoned R-5 (High Density Residential). Property to the east of the subject property is zoned B-2 and B-2(CD), and the property to the west is also zoned B-2. The property to the south is zoned R-1 Low Density Residential and R-2 Low Density Residential.

As previously noted, the applicant desires to rezone the property to an R-1 (Low Density Residential) zoning district to allow for the development of the College Estates subdivision (**Exhibit C**). The College Estates subdivision is a proposed residential subdivision of 27 lots. There are only three permitted uses allowed within the R-1 zoning district: single-family site built dwellings (detached), model homes, and public parks.

Lots within an R-1 zoning district are required to have a minimum lot area of 7,000 square feet, a minimum lot width of 70 feet, and a minimum lot depth of 100 feet. As discussed previously at the meeting, the developer is applying for a subdivision variance that will allow the lots to be less than 100 feet deep, but exceed the lot area requirement.



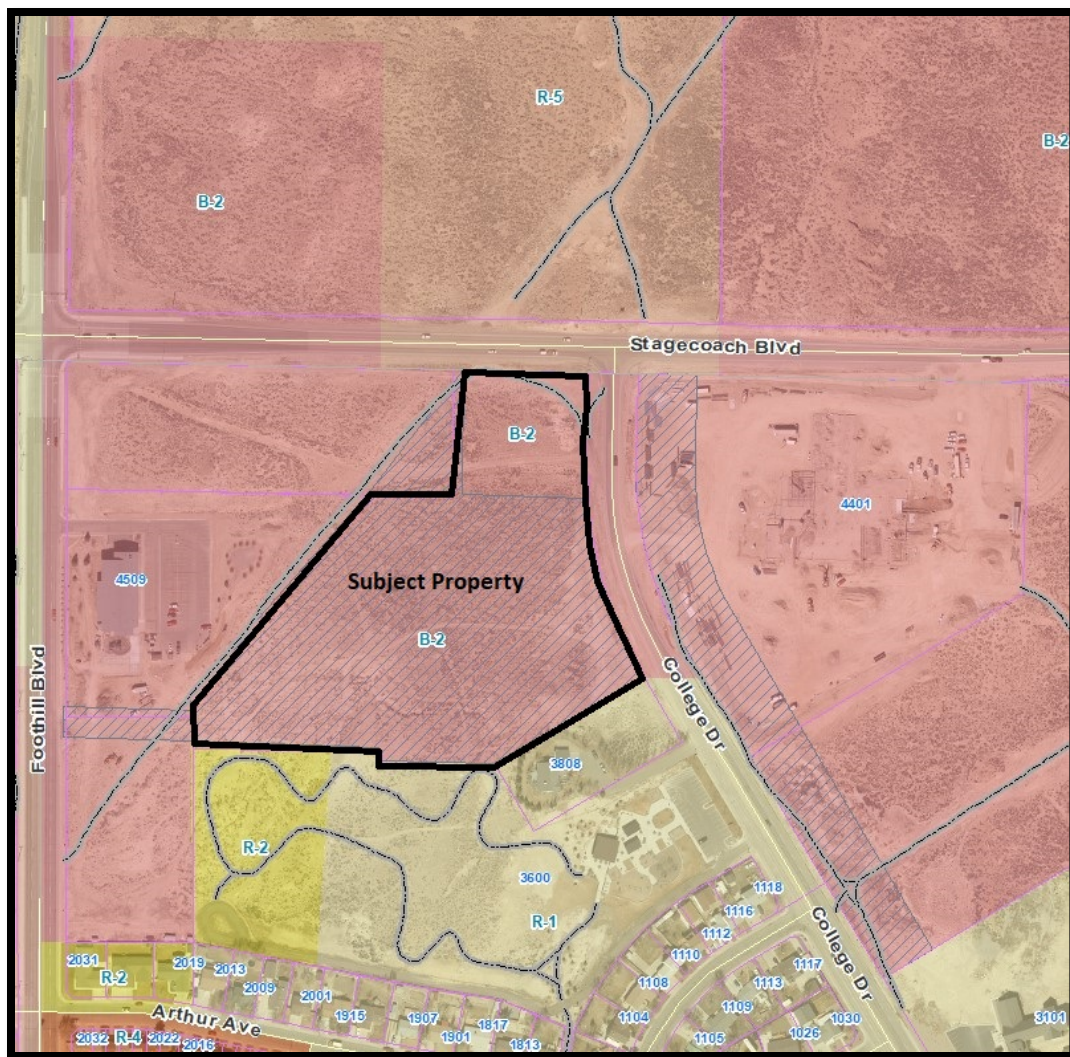


Figure 4: Zoning Map

The existing zoning designation of B-2 and B-2(CD) allows for many more uses. There are currently 110 principally permitted uses and 15 conditionally permitted uses within the B-2 zoning district. The purpose of the B-2 zoning district is to “provide for low intensity, retail or service outlets which deal directly with the consumer for whom the goods or services are intended. The uses allowed in this district are to provide goods and services on a community market scale and located in areas which are served by arterial street facilities” (Rock Springs Zoning Ordinance §13-808 Community Business Zone).

#### **PUBLIC NOTIFICATION:**

Public Hearing Notice letters were mailed to property owners located within 200 feet of the boundaries of the subject property on November 21, 2019. Refer to **Exhibit D**.

A Public Hearing Notice was duly published in the Rock Springs Rocket Miner on Wednesday, November 27, 2019. Refer to **Exhibit E**.

Additionally, the applicant provided the following photo documentation (**Figure 5**) that the property was posted with a Public Notice Sign:



*Figure 5: Public Notice Sign*

To date, no comments have been received. Staff will advise the Commission of any comments received after the date of this report.

#### **PROCEDURE:**

Master Plan text and map amendments shall be made only after first holding a public hearing before the Rock Springs Planning and Zoning Commission followed by a public hearing before the Rock Springs City Council, and shall be handled in the same manner as Zoning Map Amendments (§13-901).

The Planning and Zoning Commission's recommendation will be forwarded to the Rock Springs City Council for consideration at a Public Hearing (tentatively scheduled for the January 7, 2020 meeting). Public Hearing notice will once again be published in the Rocket Miner prior to the City Council Public Hearing. After the public hearing, the Master Plan Amendment will be voted on by Resolution. The Zoning Map Amendment will require approval by Ordinance, which requires three (3) ordinance readings.

#### **STAFF RECOMMENDATION:**

Staff will provide a formal recommendation after the public comment portion of the public hearing.



EXHIBIT A



**ZONING MAP AMENDMENT  
AND  
MASTER PLAN MAP AMENDMENT**

Planning & Zoning Division  
212 D Street  
Rock Springs WY 82901  
307.352.1540 (phone)  
307.352.1545 (fax)

**City Use Only:**

Date Received 11/12/19 File Number: PZ-19-00376 00347  
Meeting Dates: Utility Review 11/26/19 P&Z \_\_\_\_\_ Council \_\_\_\_\_  
Resolution # \_\_\_\_\_ Ordinance # \_\_\_\_\_  
Date of Action: \_\_\_\_\_ By: \_\_\_\_\_

■ \$300.00 Application Fee

**PROPERTY INFORMATION**

**PID:** 1905 - 27 - 2 - 00 - 010 - 00

Property Address: \_\_\_\_\_

Subdivision: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_

Legal Description Quarter: NW Section: 27 Township: 19N Range: 105W

Zoning: B-2 Overlay: \_\_\_\_\_ Floodplain Designation: Zone X unshaded

**CONTACT INFORMATION**

Petitioner: Name: Gerhard Tschabitzer Phone: ( 801 ) 505-8048  
Company Name: 1st Arrow Corporation  
Street Address: 6905 S 1300 E #277  
City: Midvale State: UT Zip Code: 84047-1817  
Email Address: Gerhard@1starrowcorp.com

Property Owner: Name: Gerhard Tschabitzer Phone: ( 801 ) 505-8048  
Company Name: 1st Arrow Corporation  
Street Address: 6905 S 1300 E #277  
City: Midval State: UT Zip Code: 84047-1817  
Email Address: Gerhard@1starrowcorp.com

Engineer/Architect: Name: Daniel Kennedy Phone: ( 307 ) 362-7519  
Company Name: JFC Engineers & Surveyors  
Street Address: 1682 Sunset Drive  
City: Rock Springs State: WY Zip Code: 82901  
Email Address: dkennedy@jfc-wyo.com



## PLEASE ANSWER THE FOLLOWING ON THE SPACE PROVIDED

- |   |  |
|---|--|
| 1. Existing <i>Master Plan</i> Land Use Map Designation:    | <u>Commercial</u>                          |
| 2. Requested <i>Master Plan</i> Land Use Map Designation:   | <u>Low Density Residential</u>             |
| 3. Existing Zoning Map Designation:                         | <u>B-2 (Community Business)</u>            |
| 4. Requested Zoning Map Designation:                        | <u>R-1 (Low Density Residential)</u>       |
| 5. Square footage and/or acreage of property to be rezoned: | <u>9.072 acres (10.832 acres with ROW)</u> |
| 6. Current Use of Land: <u>Undeveloped Land</u>             |  |
| 7. Proposed Use of Land: <u>Residential</u>                 |  |

## AMENDMENT JUSTIFICATION

In order to justify the request, the following statements **MUST** be addressed. Please do so with typewritten text and submit separately as an attachment to this application. The current Rock Springs *Master Plan* Land Use Map and Zoning Map are available on the Rock Springs website at [www.rswy.net](http://www.rswy.net).

1. The reason for the requested Master Plan Land Use Map and Zoning Map Amendment.
2. The proposed amendment represents an overall improvement to the character of the community and meets the general intent of the plan; and
3. The proposed amendment benefits the community at large and not an individual party or parties; and
4. The proposed amendment will not cause adverse impacts on the general health, safety and welfare of the community, nor of neighboring residents; and
5. The proposed amendment is in keeping with the plan's vision, mission and goals; and
6. The proposed amendment is the minimum amendment necessary and is not of such a scope that an extensive update of the plan is required.

## SUBMITTAL REQUIREMENTS

***Incomplete applications will be returned to the petitioner***

- Filing Fee (\$300.00). Make checks payable to the City of Rock Springs.
- 20 copies of an accurately drawn map of property requested for *Master Plan* Land Use Map and Zoning Map amendment. If the full-size scaled drawing is on a size larger than 11" x 17", then in addition to the 20 full size copies, one reduced copy no larger than 11" x 17" must also be submitted. A survey may be required.
- Electronic version of *Master Plan* Land Use Map and Zoning Map amendment provided in PDF format either on thumb drive or emailed to: [city\\_planner@rswy.net](mailto:city_planner@rswy.net) .
- Legal description of the property to be rezoned provided on a typed sheet and also supplied electronically in Word format and emailed to: [city\\_planner@rswy.net](mailto:city_planner@rswy.net) .
- Petitioner shall post the property within 10 days of the first public hearing. Sign shall state the nature of the request and time and date of the public hearing. (See *Section F* for suggested posting language.)

## SAMPLE PROPERTY POSTING NOTICE

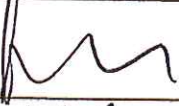
Lettering should be sufficiently sized (48pt or larger for the headline) so as to be visible from the adjacent public street

<p style="text-align: center;"><b>PUBLIC NOTICE</b> <b>PROPOSED MASTER PLAN LAND USE MAP <u>AND</u> ZONING MAP AMENDMENT</b></p> <p>Please take notice that this property owned by _____ and totaling _____ acres is proposed for <i>Master Plan</i> Land Use Map Amendment from _____ to _____ <u>and</u> Zoning Map Amendment from _____ to _____</p> <p>A Public Hearing will be held before the City of Rock Springs Planning &amp; Zoning Commission on _____ at 7 p.m. in the City Council Chambers to consider said action.</p> <p>Interested parties may obtain more information by attending the meeting or contacting the City of Rock Springs at (307) 352-1540 or city_planner@rswy.net.</p>
--

### SIGNATURE(S) REQUIRED:

I acknowledge that I have read and understand this application and the pertinent Zoning Map amendment regulations (Section 13-902 of the Rock Springs City Ordinances). I further agree if the *Master Plan* Land Use Map and Zoning Map amendment is approved, I will comply with all pertinent regulations and conditions as set forth by the City of Rock Springs. I certify that the information provided with this application is true and correct.

All petitioners and property owners must sign this application. Attach a separate sheet if necessary.

Signature of Applicant   
V. P. 1st Arrow Corp.

Date 11/8/2019

Signature of Applicant \_\_\_\_\_

Date \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Date \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Date \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Date \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Date \_\_\_\_\_

Signature of Engineer/Surveyor 

Date 11/12/19



## LEGAL DESCRIPTION FOR REZONING AREA

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 27;

THENCE NORTH 87°47'45" EAST FOR A DISTANCE OF 827.81 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 88°50'29" EAST FOR A DISTANCE OF 346.02 FEET;

THENCE SOUTH 1°10'20" WEST FOR A DISTANCE OF 227.54 FEET TO A POINT WHICH IS THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 666.20 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE AND ALONG THE EASTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 32°07'12" FOR AN ARC DISTANCE OF 373.47 FEET;

THENCE SOUTH 30°56'52" EAST ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 14.82 FEET;

THENCE SOUTH 59°02'10" WEST FOR A DISTANCE OF 438.87 FEET;

THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 225.81 FEET;

THENCE NORTH 1°09'31" EAST FOR A DISTANCE OF 25.48 FEET;

THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 370.38 FEET TO A POINT WHICH LIES ON THE EASTERLY BOUNDARY OF THE CAL56, LLC/MADELINE L. SMITH TRACT AS RECORDED IN BOOK 1206, PAGE 1993 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK;

THENCE NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID CAL56, LLC/MADELINE L. SMITH TRACT FOR A DISTANCE OF 59.87 FEET TO THE SOUTHEAST CORNER OF THE SWEETWATER COUNTY TRACT DESCRIBED IN BOOK 1190, PAGE 1119;

THENCE CONTINUING NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 30.12 FEET;

THENCE NORTH 40°49'58" EAST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 535.59 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT LIES ON THE SOUTHERLY BOUNDARY OF THE KEITH MILLS AND JANET JENSON TRACT DESCRIBED IN BOOK 1059, PAGE 644 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK;

THENCE SOUTH 88°50'29" EAST ALONG THE SOUTHERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 178.15 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE NORTH 0°00'00" EAST ALONG THE EASTERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 300.06 FEET TO THE NORTHEAST CORNER THEREOF AND THE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT CONTAINS AN AREA OF 10.832 ACRES AND IS SUBJECT TO ANY EASEMENTS AND OR RIGHTS-OF-WAY WHICH HAVE BEEN LEGALLY ACQUIRED.

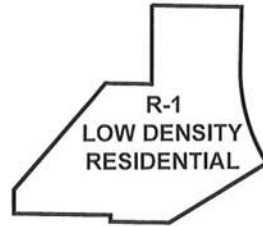
# PUBLIC NOTICE

## PROPOSED MASTER PLAN LAND USE MAP AND ZONING MAP AMENDMENT

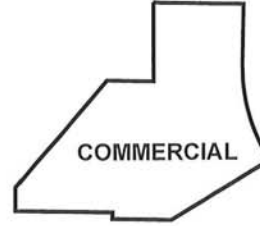
Please take notice that this property owned by **1st Arrow Corporation** and totaling **9.072** acres is proposed for Master Plan Use Map Amendment from **Commercial** to **Low Density Residential** and Zoning Map Amendment from **B-2 (Community Business)** to **R-1 (Low Density Residential)**



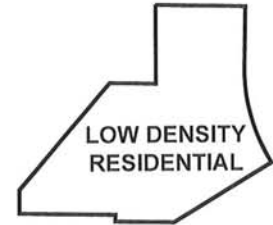
**EXISTING ZONING**



**NEW ZONING**



**EXISTING MASTER PLAN**



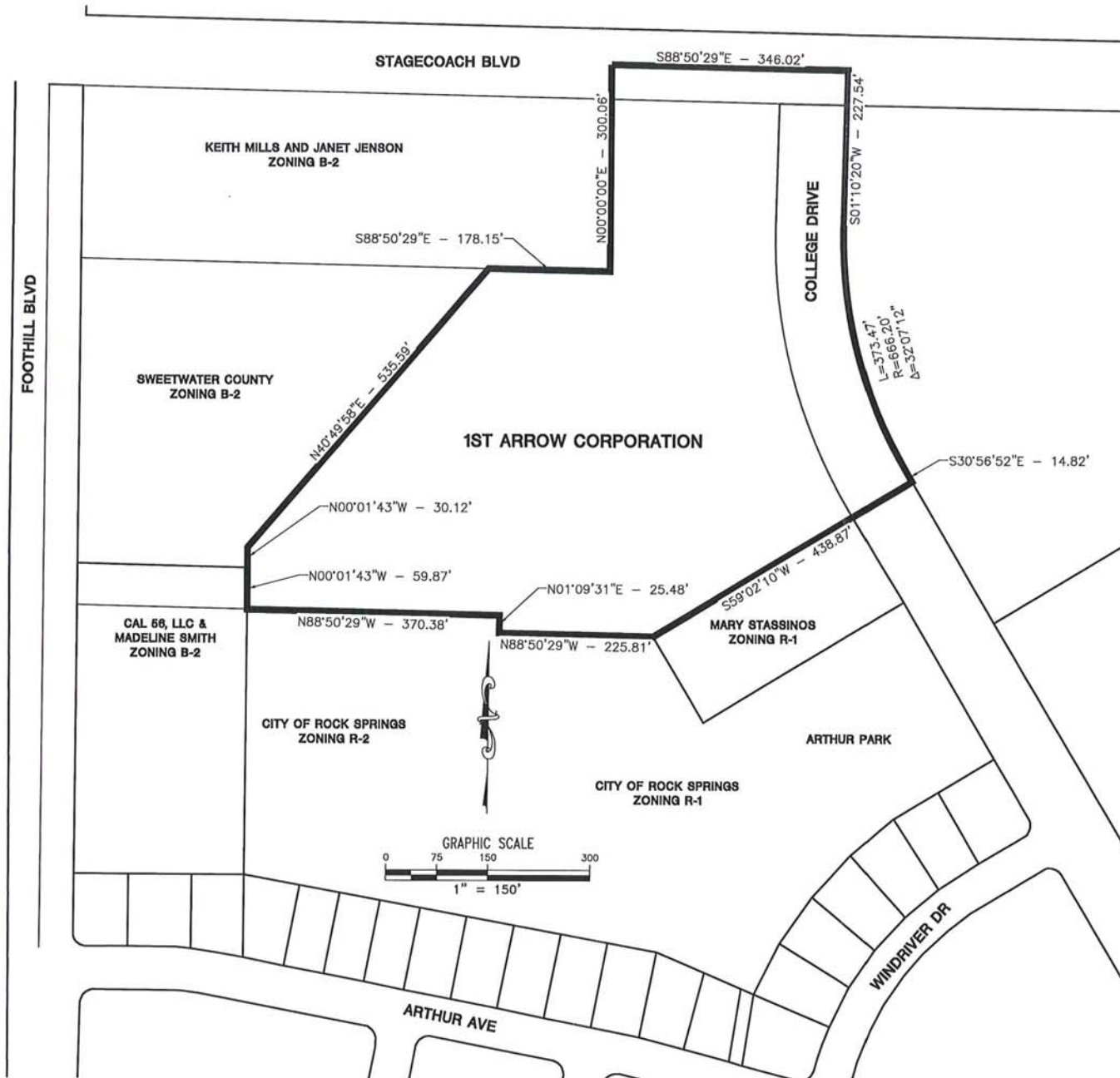
**NEW MASTER PLAN**

A Public Hearing will be held before the City of Rock Springs Planning & Zoning Commission on

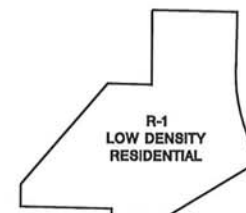
**December 11th, 2019 at 7 p.m.** in the City Council Chambers to consider said action.

Interested parties may obtain more information by attending the meeting or contacting the

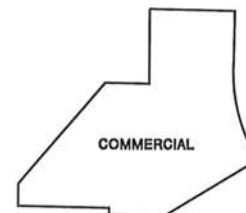
City of Rock Springs at (307) 352-1540 or [city\\_planner@rswy.net](mailto:city_planner@rswy.net)



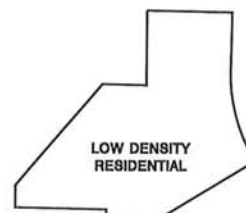
**EXISTING ZONING**



**PROPOSED ZONING**



**EXISTING MASTER PLAN**



**PROPOSED MASTER PLAN**

**JFC ENGINEERS SURVEYORS**

PO BOX 2028  
ROCK SPRINGS, WY 82802  
PHONE (307) 362-7519  
FAX (307) 362-7558  
<http://www.jfc-wy.com>

**PROJECT TITLE:**  
PROPOSED REZONING  
1ST ARROW CORPORATION  
SECTION 27, T19N, R105W  
ROCK SPRINGS, WYOMING

**DRAWING TITLE:**  
PROPOSED REZONING  
AREA

**DRAWN BY:**  
JA

**SCALE:**  
AS NOTED

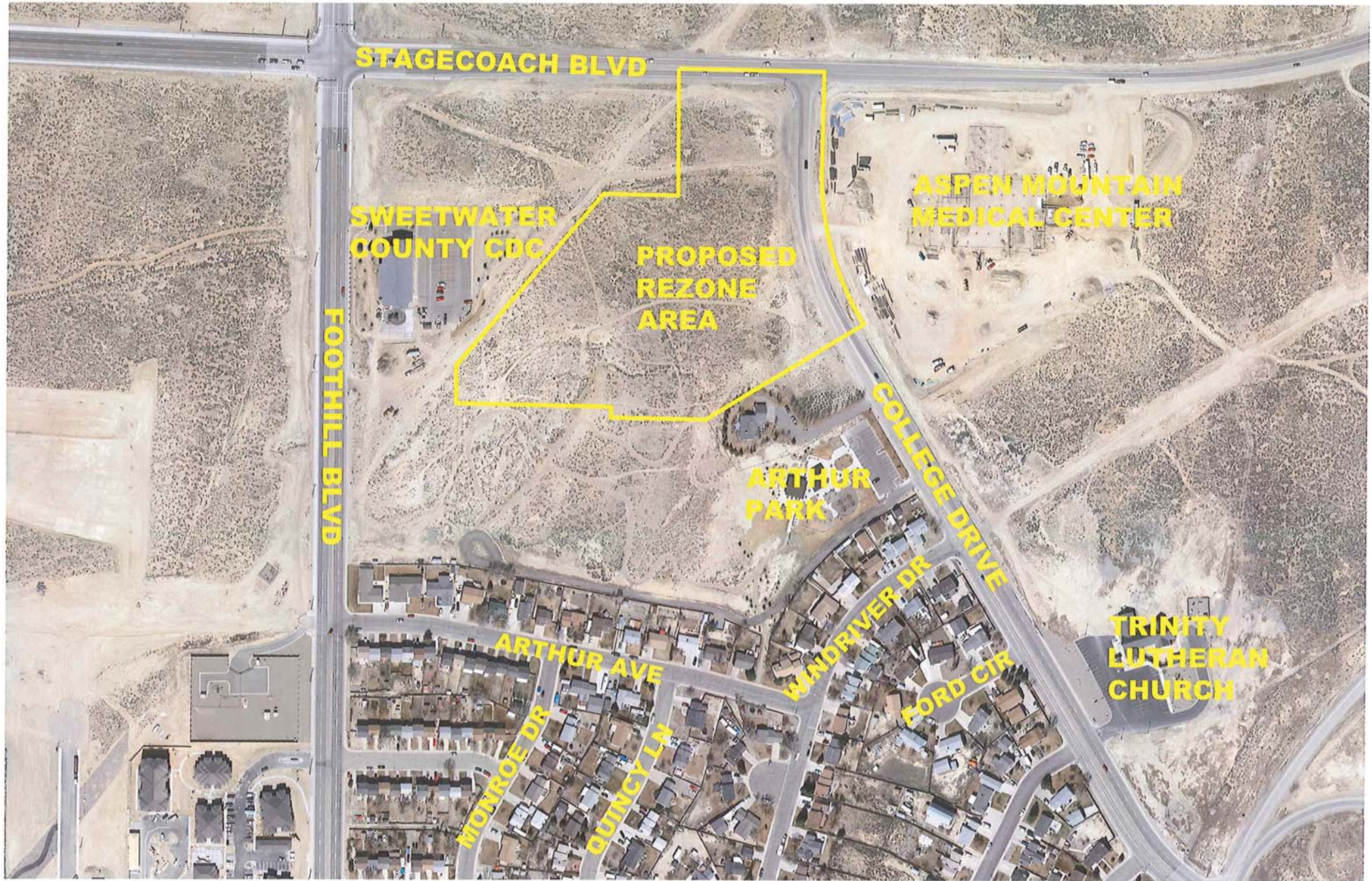
**DATE:**  
10/17/19

**PROJECT NO:**  
10199-15

**SHEET NO:**  
1 OF 1

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## EXHIBIT B



RECORDED 6/04/2004 AT 02:37 PM REC# 1414220 BK# 1001 PG# 1370  
LORETTA BAILIFF, CLERK of SWEETWATER COUNTY, WY Page 1 of 4

File No.: **4619-398183 ()**

**WARRANTY DEED**

**JLS Properties, LLC**, grantor(s) of Salt Lake County, State of Utah, for and in consideration of Ten Dollars and Other Good and Valuable Consideration, in hand paid, receipt whereof is hereby acknowledged, Convey and Warrant To

**1st Arrow Corp., a Wyoming Corporation**, grantee(s),

whose address is: **4700 South 900 East, Suite 30-205, Salt Lake City, UT 84117** of **Salt Lake** County and State of **Utah**, the following described real estate, situate in **Sweetwater** County and State of **Wyoming**, to wit:

**PARCEL A:**

**A PARCEL OF LAND SITUATE IN SECTION 27, RESURVEY OF TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ROCK SPRINGS, COUNTY OF SWEETWATER, STATE OF WYOMING, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 27; THENCE SOUTH 88°50'29" EAST, ALONG THE NORTH LINE OF THE NORTHWEST QUARTER (NW/4) OF SAID SECTION 27, A DISTANCE OF 2656.65 FEET TO THE NORTH QUARTER CORNER OF SAID SECTION 27; THENCE SOUTH 88°26'55" EAST, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER (NE/4) OF SAID SECTION 27, A DISTANCE OF 926.63 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. INTERSTATE HIGHWAY NO. 80, SAID POINT ALSO BEING A POINT ON A DECREASING SPIRAL CURVE TO THE LEFT; THENCE DEPARTING SAID NORTH LINE OF THE NORTHEAST QUARTER (NE/4) OF SAID SECTION 27 AND ALONG SAID WESTERLY RIGHT-OF-WAY LINE, THE FOLLOWING TWO COURSES:**

**1) SOUTHWESTERLY, ALONG THE ARC OF SAID SPIRAL CURVE TO THE LEFT, THE CHORD OF WHICH BEARS SOUTH 27°19'16" WEST, A DISTANCE OF 201.37;**

**2) SOUTH 26°10'39" WEST, A DISTANCE OF 2058.81 FEET;**

**THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, NORTH 63°49'21" WEST, A DISTANCE OF 477.00 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 474.36 FEET; THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 32°51'31", AN ARC LENGTH OF 272.04 FEET; THENCE NORTH 30°57'50" WEST, A DISTANCE OF 1332.86 FEET; THENCE SOUTH 59°02'10" WEST, A DISTANCE OF 438.45 FEET; THENCE NORTH 88°50'29" WEST, 225.81 FEET; THENCE NORTH 01°09'31" EAST, 25.48 FEET; THENCE NORTH 88°50'29" WEST, 370.38 FEET; THENCE SOUTH 00°04'52" WEST, 384.36 FEET; THENCE CONTINUING SOUTH 00°04'52" WEST 122.16 FEET; THENCE NORTH 79°07'00" WEST, A DISTANCE OF 30.43 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 530.00 FEET; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 10°48'08", AN ARC LENGTH OF 99.92 FEET; THENCE NORTH 89°55'08" WEST, A DISTANCE OF 170.73 FEET TO A POINT ON THE WEST LINE OF SAID NORTHWEST QUARTER (NW/4) OF SAID SECTION 27; THENCE NORTH 00°04'52" EAST, ALONG SAID WEST LINE, A DISTANCE OF 1249.40 FEET TO THE POINT OF BEGINNING.**

**EXCEPTING THEREFROM THE WESTERLY 50 FEET.**

**FURTHER EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND:**

**ALL THAT PORTION OF THE EAST HALF OF THE NORTHWEST QUARTER (E/2NW/4) AND WEST HALF OF THE NORTHEAST QUARTER (W/2NE/4) OF SECTION 27, TOWNSHIP 19 NORTH, RANGE 105 WEST (ORIGINAL SURVEY) ALSO KNOWN AS LOTS 2, 3 6 AND 7 OF SECTION 27, RESURVEY TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE 6TH PRINCIPAL MERIDIAN, WYOMING, BEING DESCRIBED AS FOLLOWS:**



RECORDED 6/04/2004 AT 02:37 PM REC# 1414220 BK# 1001 PG# 1371  
LORETTA BAILIFF, CLERK of SWEETWATER COUNTY, WY Page 2 of 4

WARRANTY DEED-continued

File No.: 4619-398183 ()

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 27; THENCE NORTH 0°22'00" EAST ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION 27 A DISTANCE OF 2,883.45 FEET TO A POINT ON THE CENTERLINE OF SURVEY OF INTERSTATE HIGHWAY NO. 80; THENCE NORTH 26°17'24" EAST ALONG SAID CENTERLINE A DISTANCE OF 134.05 FEET; THENCE NORTH 63°42'36" WEST A DISTANCE OF 200 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY BOUNDARY OF SAID I-80 AS DESCRIBED IN BOOK 326, PAGES 27-55, OF THE SWEETWATER COUNTY RECORDS, SAID POINT BEING THE MOST EASTERLY CORNER OF A PARCEL OF LAND CONVEYED BY UNION PACIFIC LAND RESOURCES CORPORATION TO PULTE HOME CORPORATION BY SPECIAL WARRANTY DEED DATED MAY 21, 1980, SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING; THENCE ALONG THE NORTHEASTERLY LINE OF SAID CONVEYED PARCE, NORTH 63°42'28" WEST A DISTANCE OF 476.55 FEET TO THE POINT OF BEGINNING OF A CIRCULAR CURVE CONCAVE TO THE NORTHEAST, THE RADIUS OF WHICH IS 474.36 FEET; THENCE NORTHWESTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 14°56'41" A DISTANCE OF 123.73 FEET; THENCE NORTH 26°17'24" EAST A DISTANCE OF 439.98 FEET; THENCE NORTH 56°06'18" EAST A DISTANCE OF 781.73 FEET; THENCE NORTH 50°59'51" EAST A DISTANCE OF 502.90 FEET, MORE OR LESS, TO A POINT ON SAID WESTERLY RIGHT-OF-WAY BOUNDARY; THENCE SOUTH 26°17'24" WEST, ALONG SAID WESTERLY BOUNDARY, A DISTANCE OF 1591.17 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

FURTHER EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND THAT HAS HERETOFORE BEEN CONVEYED TO THE CITY OF ROCK SPRINGS BY DEDICATION DEED DATED 30 JUNE 1994 AND RECORDED 6 JULY 1994 AS ENTRY NO. 1167315 IN BOOK 852 AT PAGE 951 OF SWEETWATER COUNTY RECORDS:

PART OF THE NW QUARTER OF SECTION 27, T 19 N, R 105 W OF THE SIXTH PRINCIPAL MERIDIAN AS FOLLOWS: BEGINNING AT A POINT WHICH IS SOUTH 0°04'52" WEST 1229.42 FEET AND SOUTH 89°55'08" EAST 50.00 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 27, AND BEARING THENCE SOUTH 0°04'52" WEST 20.0 FEET; THENCE SOUTH 89°55'08" EAST 20.00 FEET; THENCE 31.42 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" (CHORD BEARING NORTH 44°55'08" WEST 28.28 FEET) TO THE POINT OF BEGINNING.

FURTHER EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND THAT HAS HERETOFORE BEEN CONVEYED TO SOUTHWEST WYOMING REHABILITATION CENTER BY WARRANTY DEED RECORDED JULY 29, 1994 IN BOOK 853 AT PAGE 548, AND BEING DESCRIBED AS FOLLOWS:

THE FOLLOWING IS PART OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ROCK SPRINGS, SWEETWATER COUNTY, WYOMING, AND FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 88°50'29" EAST 50.00 FEET AND SOUTH 0°04'52" WEST 250.05 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 27 AND RUNNING THENCE SOUTH 88°50'29" EAST 599.51 FEET; THENCE SOUTH 40°49'58" WEST 535.59 FEET; THENCE SOUTH 0°04'15" WEST 30.12 FEET; THENCE NORTH 88°50'32" WEST 249.83 FEET; THENCE NORTH 0°04'52" EAST 442.43 FEET TO THE POINT OF BEGINNING.

FURTHER EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND THAT HAS HERETOFORE BEEN CONVEYED TO SOUTHWESTERN WYOMING REHABILITATION CENTER BY WARRANTY DEED RECORDED OCTOBER 18, 1995 IN BOOK 869 AT PAGE 508, AND BEING DESCRIBED AS FOLLOWS:

A PARCEL OF LAND SITUATE IN SECTION 27, RESURVEY OF TOWNSHIP 19 NORTH, RANGE 105 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF ROCK SPRINGS, COUNTY OF SWEETWATER, STATE OF WYOMING, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 88°50'29" EAST 50.00 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 27 AND RUNNING THENCE SOUTH 88°50'29" EAST 777.31 FEET; THENCE SOUTH 250.05 FEET; THENCE NORTH 88°50'29" WEST 777.66 FEET; THENCE NORTH 0°04'52" EAST 250.05 FEET TO THE POINT OF BEGINNING.

FURTHER EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL OF LAND THAT HAS HERETOFORE BEEN CONVEYED TO TRINITY LUTHERAN CHURCH BY WARRANTY DEED RECORDED NOVEMBER 3, 1997 IN BOOK 891 AT PAGE 649, AND BEING DESCRIBED AS FOLLOWS:



RECORDED 6/04/2004 AT 02:37 PM REC# 1414220 BK# 1001 PG# 1372  
LORETTA BAILIFF, CLERK of SWEETWATER COUNTY, WY Page 3 of 4

WARRANTY DEED-continued

File No.: 4619-398183 ()

**A tract of land located in the Northwest Quarter of Section 27, Resurvey Township 19 North, Range 105 West of the Sixth Principal Meridian, Rock springs, Sweetwater County, Wyoming and being more particularly described its follows;**

**Beginning at a point located the following courses and distances from the Northwest corner of said Section 27;**

**Commencing at the northwest corner of said Section 27; Thence South 88°50'29" East along the north line of said Section 27 for a distance of 1172.31 feet to a point which lies on the easterly right-of-way line of College Drive; Thence South 01°10'23" West along said easterly right-of-way line for a distance of 178.36 feet to a point which is the beginning of a tangent curve to the left having a radius of 666.20 feet; Thence Southerly along said curve and said easterly right-of-way line through a central angle of 32°08'28" for an arc distance of 373.72 feet; Thence South 30°58'05" East along said easterly right-of-way line for a distance of 746.95 feet to the TRUE POINT OF BEGINNING, said point being monumented by a 5/8" rebar with aluminum cap stamped "JFC PROP COR - PLS 2928"; From the True Point of Beginning, South 30°58'05" East along said easterly right-of-way line for a distance of 600.00 feet to a point monumented by a 2" aluminum monument stamped "JFC PLS 573", said point being the beginning of a tangent curve to the left having a radius of 474.36 feet; Thence southeasterly along said curve and said easterly right-of-way line through a central angle of 17°53'40" for an arc distance of 148.15 feet to a point located on the northerly right-of-way line of Interstate 80, said point being monumented by a Wyoming Highway Department monument; Thence North 26°09'08" East along said northerly right-of-way line for a distance of 440.00 feet to a point monumented by a Wyoming Highway Department monument; Thence North 56°01'06" East along said northerly right-of-way line for a distance of 201.67 feet to a point monumented by a 5/8" rebar with aluminum cap stamped "JFC PROP COR - PLS 2928"; Thence North 30°58'05" West for a distance of 496.29 feet to a point monumented by a 5/8" rebar with aluminum cap stamped "JFC PROP COR - PLS 2928"; Thence South 59°01'55" West for a distance of 593.86 feet to the TRUE POINT OF BEGINNING.**

**FURTHER EXCEPTING THAT PORTION BEING THE COLLEGE DRIVE RIGHT-OF-WAY DESCRIBED IN INSTRUMENT RECORDED MAY 18, 1989 IN BOOK 800, PAGES 149-152;**

**FURTHER EXCEPTING THAT PORTION BEING THE FINAL PLAT SUNRISE II ADDITION, PHASE 1, A SUBDIVISION IN THE CITY OF ROCK SPRINGS, SWEETWATER COUNTY, WYOMING, AS DESCRIBED IN PLAT RECORDED AUGUST 3, 1994 IN BOOK OF PLATS, PAGE 358.**

**FURTHER EXCEPTING THAT PORTION BEING THE FINAL PLAT SAGE VIEW CARE CENTER SUBDIVISION, ROCK SPRINGS, SWEETWATER COUNTY, WYOMING, AS DESCRIBED IN PLAT RECORDED NOVEMBER 17, 1997 IN BOOK OF PLATS, PAGE 388.**

**PARCEL B:**

**THE FINAL PLAT SUNRISE II ADDITION, PHASE 1, A SUBDIVISION IN THE CITY OF ROCK SPRINGS, SWEETWATER COUNTY, WYOMING, AS DESCRIBED IN PLAT RECORDED AUGUST 3, 1994 IN BOOK OF PLATS, PAGE 358.**

**AND**

**THE FINAL PLAT SAGE VIEW CARE CENTER SUBDIVISION, ROCK SPRINGS, SWEETWATER COUNTY, WYOMING, AS DESCRIBED IN PLAT RECORDED NOVEMBER 17, 1997 IN BOOK OF PLATS, PAGE 388.**

Hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State of Wyoming.

Witness my/our hand(s) this 2nd day of June, 2004.

JLS Properties, LLC

By: 

*As Vice President of the Managing Member,  
Sovereigns, Inc.*

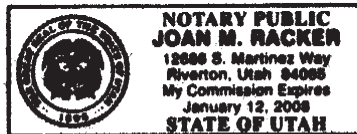


RECORDED 6/04/2004 AT 02:37 PM REC# 1414220 BK# 1001 PG# 1373  
LORETTA BAILIFF, CLERK of SWEETWATER COUNTY, WY Page 4 of 4

WARRANTY DEED-continued

File No.: 4619-396183 ()

State of Utah )  
 )ss.  
County of Salt Lake



The foregoing instrument was acknowledged before me this 2nd day of June  
20 04, by Donald E. Wallace

the Vice President of the  
Managing Member of Arventus, Inc.

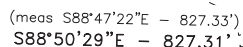
Witness my hand and official seal.

My commission expires: 1/12/2008

Joan M. Racker  
Notary Public



(meas S88°47'22"E - 827.33')  
S88°50'29"E - 827.31'



ZONING AS SHOWN IS TO HAVE THE CITY OF ROCK SPRINGS' MASTER PLAN AND ZONING MAP AMENDED. THE ROCK SPRINGS FLOOD INSURANCE RATE MAP INDICATES THAT THE PROPOSED ADDITION IS NOT WITHIN THE 100-YEAR OR 500-YEAR FLOOD PLAIN.

A SOLS REPORT DONE ALONG STATE COACH AND COLLEGE DRIVE TO THE NORTH AND EAST OF THE PROPOSED SUBDIVISION INDICATES THAT THE SOLS ENCOUNTERED WITHIN THE SURROUNDING AREA IS A MIXTURE OF SAND, SILT, AND SALTY SANDSTONE. AREAS OF EXPANSIVE CLAYS MAY BE FOUND WHICH WOULD REQUIRE AN ENGINEERED FOUNDATION TO BE CONSTRUCTED.

FOUNDATIONS SHOULD BE A MINIMUM OF 42 INCHES DEEP TO BE BELOW NORMAL FLOOD LEVELS. EROSION CONTROL MEASURES TO BE IMPLEMENTED DURING AND AFTER CONSTRUCTION.












ALL PROPOSED WATERLINES, SANITARY SEWER, STORM SEWER, STREETS AND SIDEWALK WILL BE PUBLIC PER CITY OF ROCK SPRINGS STANDARDS.

POTABLE WATER IS AVAILABLE FROM THE CITY OF ROCK SPRINGS, IN COLLEGE DRIVE, AND FOOTHILL BOULEVARD. SANITARY SEWER WILL EXTEND FROM FOOTHILL BOULEVARD. EXISTING AND PROPOSED SEWER LINES ARE 8". EXISTING WATERLINE IS A 12", THE PROPOSED WATERLINES ARE 8".

SIGHT TRIANGLE EXTENDS 30' ALONG THE PROPERTY LINES. NO OBSTRUCTIONS EXCEEDING THREE FEET IN HEIGHT SHALL EXIST IN THIS AREA WITHOUT APPROVAL FROM THE CITY OF ROCK SPRINGS.

**TABULATION**  
CURRENT ZONING-----R-2  
TOTAL LAND AREA-----9.07 AC  
PROPOSED LOTS  
R-1-----27

**DEVELOPER**  
1ST ARROW CORPORATION  
69055 S. 1300 E. # 277  
MIDVALE, UT 84047  
PHONE: 801-793-5573

	LET DRAINAGE DIRECTION
	STREET/LOT DRAINAGE DIRECTION
---	EXISTING CONTOUR
---	EXISTING WATERLINE
---	PROPOSED WATERLINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EXISTING GAS
---	PROPOSED STEAM SEWER
---	EXISTING STEAM SEWER
	PROPOSED STEAM WHIMBLE
	PROPOSED SAWHAY WHIMBLE
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	LIGHT POLE
	FOUND ALUMINUM MONUMENT
	FOUND BRASS CHP
	FOUND ALUMINUM CHP
	FOUND REBAR

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	36.84	100.00	20.0000	142° 10' 40"	96.60
C2	45.80	100.00	20.0000	142° 10' 40"	102.13
C3	13.30	80.00	10.0422	54° 38' 00"	10.36
C4	16.40	80.00	10.0428	54° 40' 00"	15.52
C5	4.41	80.00	10.0428	54° 38' 00"	5.48
C6	14.74	76.00	10.0532	54° 36' 20"	10.28
C7	2.47	76.00	10.0542	58° 18' 50"	1.94
C8	26.37	20.00	10.3520	140° 10' 20"	20.94
C9	14.58	20.00	10.3520	140° 10' 20"	11.92
C10	76.00	76.00	0.0414	52° 34' 30"	85.81
C11	60.72	76.00	0.0428	52° 06' 10"	69.17
C12	14.52	76.00	0.0428	52° 06' 10"	4.88
C13	16.53	100.00	10.0079	142° 10' 40"	18.10
C14	58.80	100.00	10.0079	142° 10' 40"	68.80
C15	14.60	100.00	10.0079	142° 10' 40"	17.12
C16	81.00	100.00	0.0648	57° 24' 42"	88.15
C17	36.46	20.00	10.0500	142° 10' 40"	31.73
C18	71.27	20.00	10.0543	146° 06' 50"	71.27
C19	26.00	20.00	10.0543	146° 06' 50"	24.26
C20	33.54	20.00	10.0304	55° 34' 04"	33.53
C21	33.54	20.00	10.0304	55° 34' 04"	33.53
C22	17.88	20.00	10.0304	55° 34' 04"	17.88
C23	87.22	100.00	0.0501	137° 10' 50"	86.70
C24	12.80	100.00	0.0544	140° 07' 20"	62.39
C25	21.74	20.00	10.0368	140° 07' 20"	20.68
C26	63.78	61.00	0.0991	141° 37' 30"	63.78
C27	76.79	61.00	0.0858	141° 37' 30"	76.89
C28	75.98	61.00	0.1718	146° 11' 48"	75.97
C29	1.46	20.00	10.0543	146° 06' 50"	1.46
C30	53.80	53.80	0.0321	51° 24' 17"	53.80
C31	54.79	53.80	0.0485	52° 13' 20"	53.87
C32	71.27	53.80	0.0485	52° 13' 20"	71.27
C33	146.21	20.00	0.0177	149° 30' 50"	146.21
C34	26.00	20.00	0.0500	57° 24' 44"	26.00
C35	10.82	100.00	0.0544	140° 07' 20"	10.82
C36	20.19	61.00	0.0870	142° 44' 24"	20.15



A TRACT IN THE NW ¼ OF  
SECTION 27 T19N R105W

TRACT OF LAND LOCATED IN SECTION 27, RESERVE TOWNSHIP, COUNTY OF ROCK, RANGE 155  
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF TOWNSHIP SPRINGS, COUNTY OF  
ROCK, STATE OF MISSOURI, BEING THE EASTERN BOUNDARY OF THE 1/4 ARROW  
CORRECTION TRACT DESCRIBED IN BOOK 2001, PAGE 1370 IN THE RECORDS OF THE  
SOUTHWESTERN CREDIT COMPANY, PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 27  
THENCE SOUTH N88°50'29" EAST ALONG THE NORTH LINE OF SAID SECTION 27  
FOR A DISTANCE OF 827.31 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING SOUTH N88°50'29" EAST ALONG THE NORTH LINE OF SAID  
SECTION 27 FOR A DISTANCE OF 107.50 FEET TO THE POINT OF BEGINNING OF  
RIGHT-OF-WAY LINE OF COLLEGE DRIVE AS DEFINED IN THE DONATION QUICLAIM DEED  
TO THE CITY OF ROCK SPRINGS FILED IN BOOK 800, PAGE 149 IN THE RECORDS OF THE  
SOUTHWESTERN CREDIT COMPANY;

THENCE SOUTH 1°10'20" WEST ALONG SAID WESTERY RIGHT-OF-WAY LINE FOR A DISTANCE  
OF 17.53 FEET TO A POINT WHICH IS THE BEGINNING OF A TANGENT CURVE TO THE LEFT  
HAVING A RADIUS OF 100.00 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE AND ALONG SAID WESTERY RIGHT-OF-WAY  
LINE THROUGH A CENTRAL ANGLE OF 32°07'32" FOR AN ARC DISTANCE OF 429.53 FEET;  
THENCE SOUTH 30°56'52" EAST ALONG SAID WESTERY RIGHT-OF-WAY LINE FOR A DISTANCE  
OF 100.00 FEET TO THE POINT OF BEGINNING OF A TANGENT CURVE TO THE RIGHT  
HAVING A RADIUS OF 100.00 FEET;

THENCE SOUTH 59°02'10" WEST FOR A DISTANCE OF 338.87 FEET;  
THENCE NORTH N88°09'29" WEST FOR A DISTANCE OF 225.81 FEET;

THENCE NORTH 1°09'31" EAST FOR A DISTANCE OF 25.48 FEET;

THENCE NORTH N88°09'29" WEST FOR A DISTANCE OF 370.38 FEET TO A POINT WHICH LIES  
ON THE EASTERN BOUNDARY OF SAID SECTION 27, BEING THE POINT AS RECORDED  
IN BOOK 1206, PAGE 1993 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK;

THENCE NORTH 0°01'48" WEST ALONG THE EASTELY BOUNDARY OF SAID  
SECTION 27 TO THE SOUTHEAST CORNER OF SAID SECTION 27, BEING THE SOUTHWEST  
CORNER OF THE SWEETWATER COUNTY TRACT DESCRIBED IN BOOK 1390, PAGE 1139;

THENCE CONTINUING NORTH 0°01'48" WEST ALONG THE EASTELY BOUNDARY OF SAID  
SECTION 27 FOR A DISTANCE OF 107.50 FEET TO THE POINT OF BEGINNING OF A  
TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET;

THENCE NORTH 30°56'52" EAST ALONG THE EASTELY BOUNDARY OF SAID COUNTY TRACT  
FOR A DISTANCE OF 335.59 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT LIES  
ON THE SOUTHERLY BOUNDARY OF THE KEITH MILLS AND JANET JENSON TRACT DESCRIBED IN  
BOOK 1008, PAGE 1042 IN THE RECORDS OF THE SOUTHWESTERN CREDIT COMPANY;

THENCE SOUTH N88°50'29" EAST ALONG THE SOUTHERLY BOUNDARY OF SAID MILLS AND  
JENSON TRACT FOR A DISTANCE OF 378.35 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE NORTH 0°00'00" EAST ALONG THE EASTELY BOUNDARY OF SAID MILLS AND  
JENSON TRACT FOR A DISTANCE OF 250.00 FEET TO THE NORTHEAST CORNER THEREOF AND  
THE TRUE POINT OF BEGINNING.

THE ABOVE DESCRIBED TRACT CONTAINS AN AREA OF 9,072 ACRES AND IS SUBJECT TO ANY  
MORTGAGES AND OTHER INTERESTS OF RECORD.



**JFC** ENGINEERS  
SURVEYORS

DRAWING TITLE:  
PRELIMINARY PLAT

1



November 21, 2019

Dear Property Owner or Interested Party:

This letter is to inform you that a request has been filed by Gerhard Tschabitzer of 1st Arrow Corporation (property owner), requesting that the Rock Springs Master Plan Official Land Use Map be amended from Commercial (C) to Low Density Residential (LDR) and the Official Zoning Map of the City of Rock Springs be amended from Community Business (B-2/B-2CD) to Low Density Residential (R-1) for the purpose of developing a single-family residential subdivision on the below described property.

The property is generally located southwest of the College Drive/Stagecoach Blvd. intersection and consists of 10.832 acres. Please refer to the attached drawings and location map below. Records show that this property is adjacent to or near property you own.

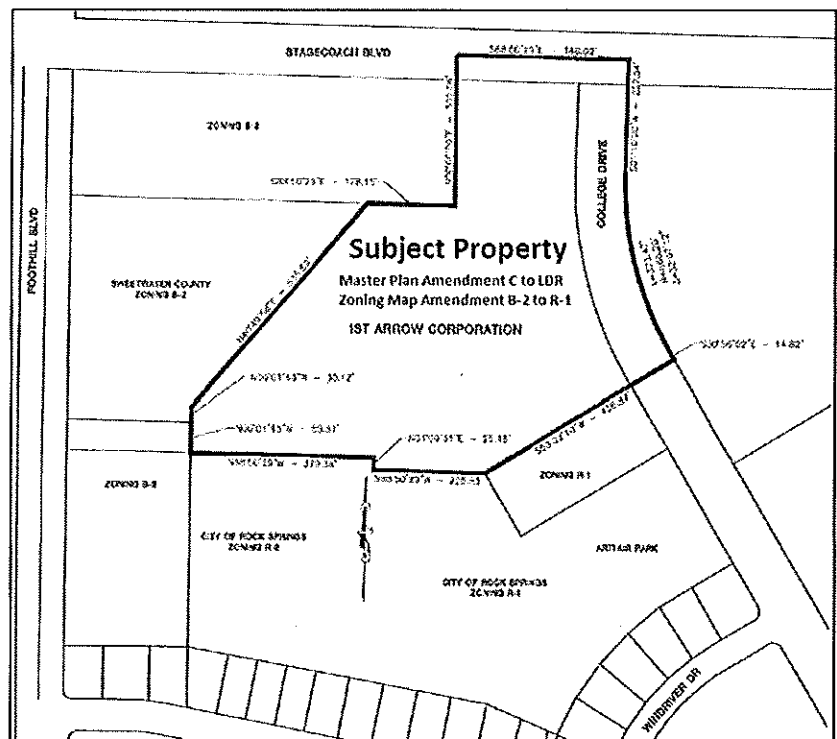
A **PUBLIC HEARING** will be held by the Rock Springs Planning and Zoning Commission, where all interested parties and citizens may appear and be heard regarding this request. Said public hearing will take place on **Wednesday, December 11, 2019** at 7:00 p.m. in the City Hall Council Chambers, 212 'D' Street, Rock Springs, Wyoming.

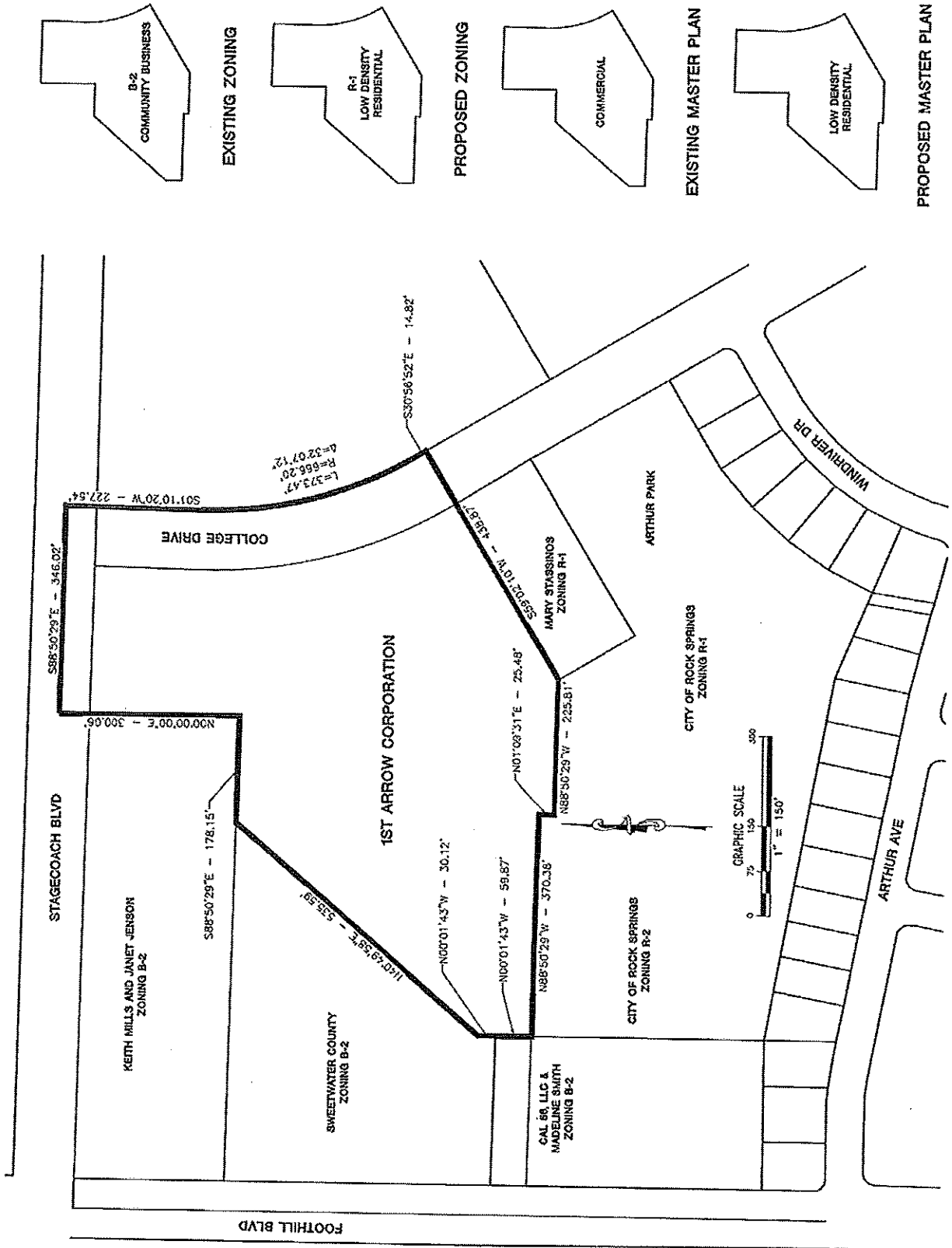
Interested persons or parties are encouraged to attend the meeting or submit written comments. Written comments will be accepted no later than noon on December 11, 2019.

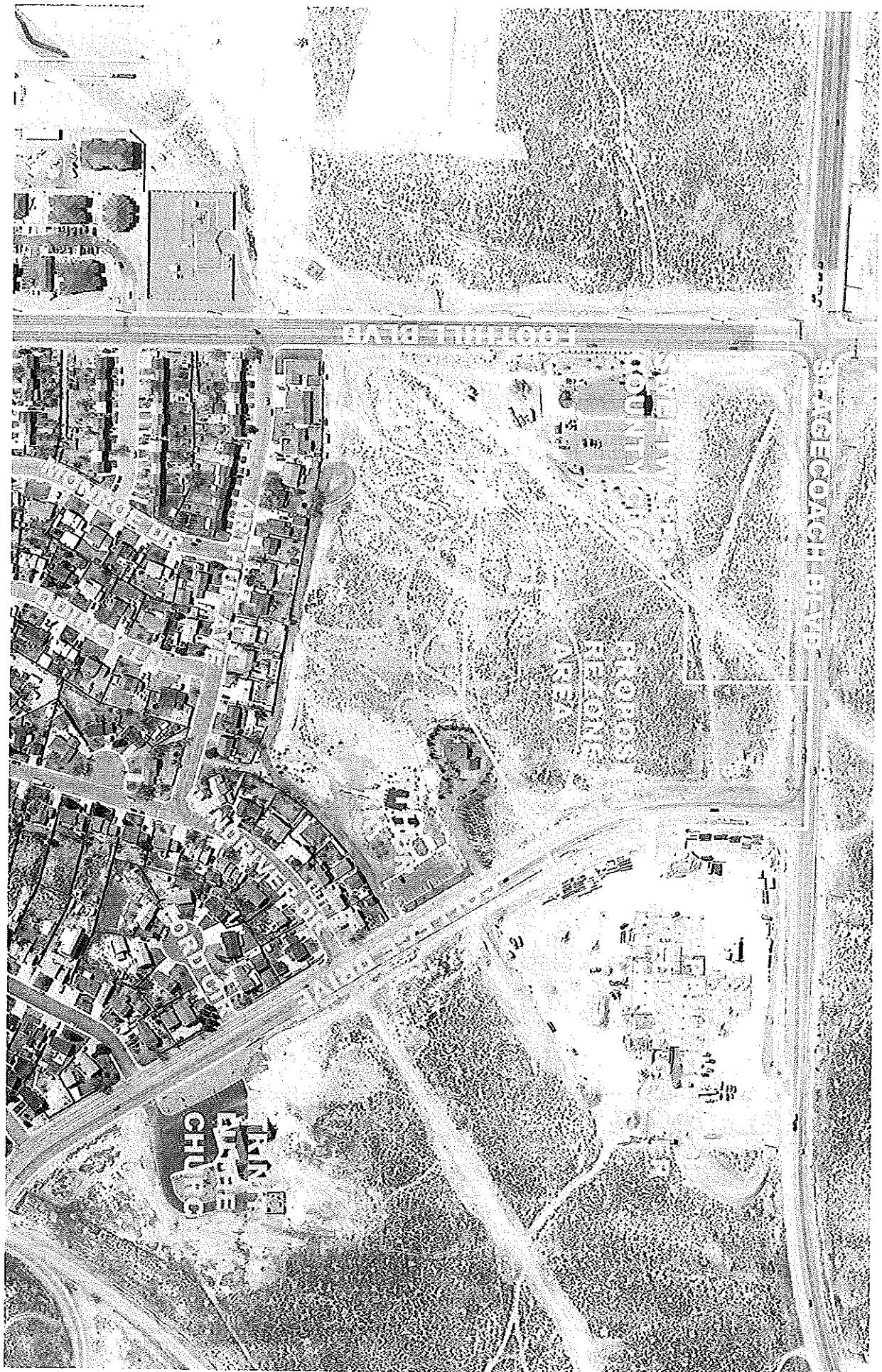
Sincerely,

*Laura Leigh*  
Laura Leigh, AICP  
City Planner

Enc.







1ST ARROW CORP  
6905 S 1300 E # 277  
MIDVALE, UT 84047-1817

ASPEN MOUNTAIN REAL ESTATE LLC  
11221 ROE AVE STE 300  
LEAWOOD, KS 66211-1941

CAL56 LLC & SMITH MADELINE L C/O  
LEFOR MANAGEMENT INC  
200 PARK RD  
BURLINGAME, CA 94010-4206

CITY OF ROCK SPRINGS  
212 D ST  
ROCK SPRINGS, WY 82901-6235

MILLS KEITH R & JENSON JANET I  
4410 J CROSS AVE  
GILLETTE, WY 82718-4168

RLX INC  
6905 S 1300 E #277  
MIDVALE, UT 84047-1817

STASSINOS MARY  
3808 COLLEGE DR  
ROCK SPRINGS, WY 82901-3503

SWEETWATER COUNTY  
80 W FLAMING GORGE WAY STE 109  
GREEN RIVER, WY 82935-4252

JFC Engineers & Surveyors  
1682 Sunset Drive  
Rock Springs, WY 82901



## EXHIBIT E

### PUBLIC HEARING NOTICE

**TAKE NOTICE** that a request has been filed by Gerhard Tschabitzer of 1<sup>st</sup> Arrow Corporation (property owner), requesting that the Rock Springs Master Plan Official Land Use Map be amended from Commercial (C) to Low Density Residential (LDR) and the Official Zoning Map of the City of Rock Springs be amended from Community Business (B-2/B-2CD) to Low Density Residential (R-1) for the following property:

The property is generally located southwest of the College Drive/Stagecoach Blvd. intersection and consists of 10.832 acres (see location map below). The property is legally described as follows:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 27; THENCE NORTH 87°47'45" EAST FOR A DISTANCE OF 827.81 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 88°50'29" EAST FOR A DISTANCE OF 346.02 FEET; THENCE SOUTH 1°10'20" WEST FOR A DISTANCE OF 227.54 FEET TO A POINT WHICH IS THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 666.20 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE AND ALONG THE EASTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 32°07'12" FOR AN ARC DISTANCE OF 373.47 FEET; THENCE SOUTH 30°56'52" EAST ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 14.82 FEET; THENCE SOUTH 59°02'10" WEST FOR A DISTANCE OF 438.87 FEET; THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 225.81 FEET; THENCE NORTH 1°09'31" EAST FOR A DISTANCE OF 25.48 FEET; THENCE NORTH 88°50'29" WEST FOR A DISTANCE OF 370.38 FEET TO A POINT WHICH LIES ON THE EASTERLY BOUNDARY OF THE CAL56, LLC/MADELINE L. SMITH TRACT AS RECORDED IN BOOK 1206, PAGE 1993 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK; THENCE NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID CAL56, LLC/MADELINE L. SMITH TRACT FOR A DISTANCE OF 59.87 FEET TO THE SOUTHEAST CORNER OF THE SWEETWATER COUNTY TRACT DESCRIBED IN BOOK 1190, PAGE 1119; THENCE CONTINUING NORTH 0°01'43" WEST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 30.12 FEET; THENCE NORTH 40°49'58" EAST ALONG THE EASTERLY BOUNDARY OF SAID COUNTY TRACT FOR A DISTANCE OF 535.59 FEET TO THE NORTHEAST CORNER THEREOF, SAID POINT LIES ON THE SOUTHERLY BOUNDARY OF THE KEITH MILLS AND JANET JENSON TRACT DESCRIBED IN BOOK 1059, PAGE 644 IN THE RECORDS OF THE SWEETWATER COUNTY CLERK; THENCE SOUTH 88°50'29" EAST ALONG THE SOUTHERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 178.15 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE NORTH 0°00'00" EAST ALONG THE EASTERLY BOUNDARY OF SAID MILLS AND JENSON TRACT FOR A DISTANCE OF 300.06 FEET TO THE NORTHEAST CORNER THEREOF AND THE POINT OF BEGINNING.

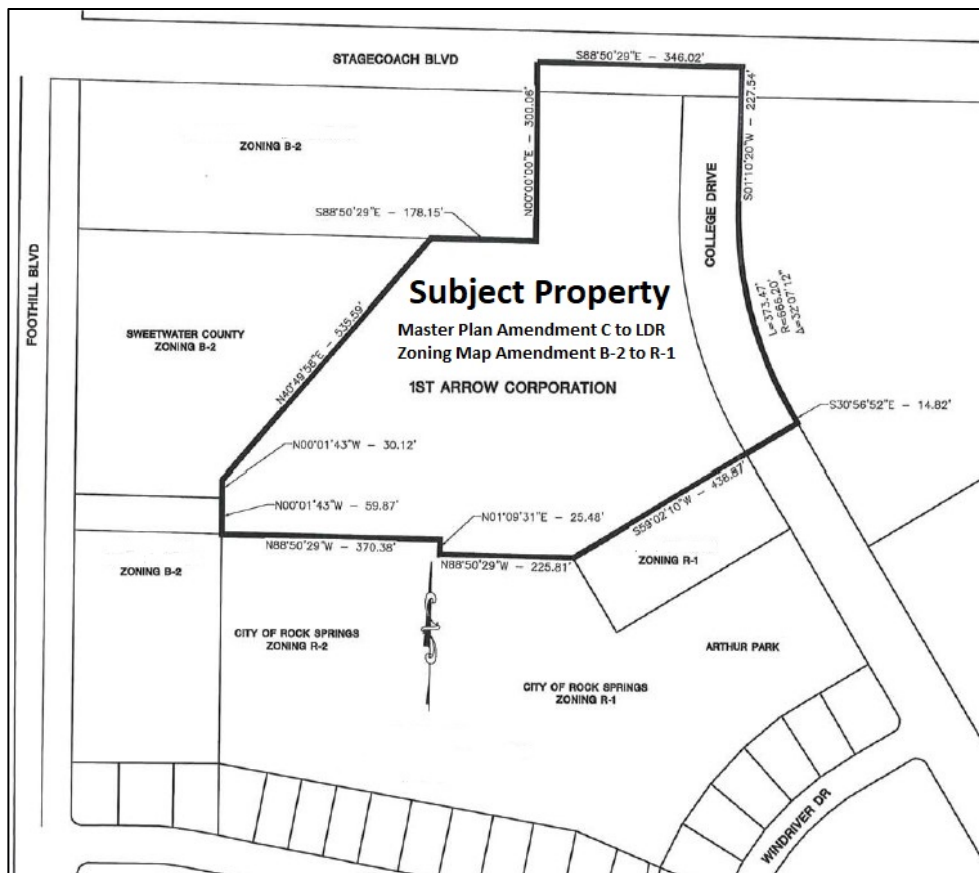
THE ABOVE DESCRIBED TRACT CONTAINS AN AREA OF 10.832 ACRES AND IS SUBJECT TO ANY EASEMENTS AND OR RIGHTS-OF-WAY WHICH HAVE BEEN LEGALLY ACQUIRED.

A **PUBLIC HEARING** will be held by the Rock Springs Planning and Zoning Commission, where all interested parties and citizens may appear and be heard regarding this request. Said public hearing will take place on **Wednesday, December 11, 2019 at 7:00 p.m.** in the City Hall Council Chambers, 212 'D' Street, Rock Springs, Wyoming. The public is invited to attend.

Dated this 27th day of November 2019.

(s) Laura Leigh, City Planner, Secretary to the Planning & Zoning Commission

Bill to: City of Rock Springs  
Publish: 11/27/2019



NOTE:  
LOCATION  
MAP WAS NOT  
PUBLISHED IN  
THE  
NEWSPAPER  
DUE TO A  
ROCKET  
MINER ERROR



# Planning & Zoning Commission

## Staff Report

December 11, 2019

7:00 p.m.

REPORT SUMMARY			
<b>Agenda Item:</b>	New Business #1	<b>Project Number:</b>	PZ-19-00342
<b>Project Name:</b>	Chavez Oversized Detached Garage		
<b>Project Address:</b>	1220 Winchester Blvd.		
<b>Property Legal Description:</b>	Lot 89, Gunsight Estates Phase 3		
<b>Project Description:</b>	Consideration of a Conditional Use Permit Application to allow for the construction of a detached garage exceeding 1,200 square feet.		
<b>Applicant:</b>	Marlene Chavez 317 Pinion Street Rock Springs, WY 82901	<b>Property Owner:</b>	New Construction - Under Contract by Chavez
<b>Engineer:</b>	N/A	<b>Surveyor:</b>	UESI 2634 Commercial Way Rock Springs, WY 82901
<b>Public Notification:</b>	Adjacent Property Letters Mailed 11/21/19; Public Hearing Notice – Not Required for Conditional Use Permits		
<b>Current Master Plan Land Use Designation:</b>	LDR (Low Density Residential)	<b>Proposed Master Plan Land Use Designation:</b>	N/A
<b>Current Zoning District</b>	R-1 (Low Density Residential)	<b>Proposed Zoning District</b>	N/A
<b>References:</b>	<ul style="list-style-type: none"> <li>Rock Springs Zoning Ordinance §13-801 Residential Zoning Districts</li> <li>Rock Springs Zoning Ordinance §13-815.E. Accessory Buildings, Uses and Equipment</li> <li>Rock Springs Zoning Ordinance §13-905 Procedure for Conditional Use Permit Approval</li> </ul>		
<b>Exhibits:</b>	<ul style="list-style-type: none"> <li>A. Application</li> <li>B. Site Plan</li> <li>C. Project Drawings</li> <li>D. Adjacent Property Owner Letter</li> <li>E. Pennington – Letter of Concern</li> </ul>		

## PETITION:

The applicant, Marlene Chavez, is requesting Conditional Use Permit approval for the construction of a 1,725 square foot detached accessory garage. In accordance with §13-815.E(4) of the Rock Springs Zoning Ordinance, “No residential accessory building or garage shall exceed 1,200 square feet of floor area unless granted a Conditional Use Permit” by the Rock Springs Planning and Zoning Commission.

As noted on the application (**Exhibit A**), the garage will be for personal, storage and mechanical use. As shown on the Site Plan (**Exhibit B**), the proposed structure will be located within the required three (3) foot side and rear setback as measured from the eaves of the proposed structure. The foundation will 4.00 feet from the side property line and 4.86’ and 4.41’ from the rear property line. Additionally, the structure will be located 12.54 feet from the principle structure (six foot separation is required). Building Elevations are included in **Exhibit C**.

## PROPERTY LOCATION AND DESCRIPTION:

As shown in **Figure 1**, the property is located north of Reagan Avenue and West of Foothill Blvd. in the Gunsight Estates Subdivision. The principle structure is currently under construction. The applicant determined that it would be best to run utility lines to the garage site while they are being placed for the main structure.

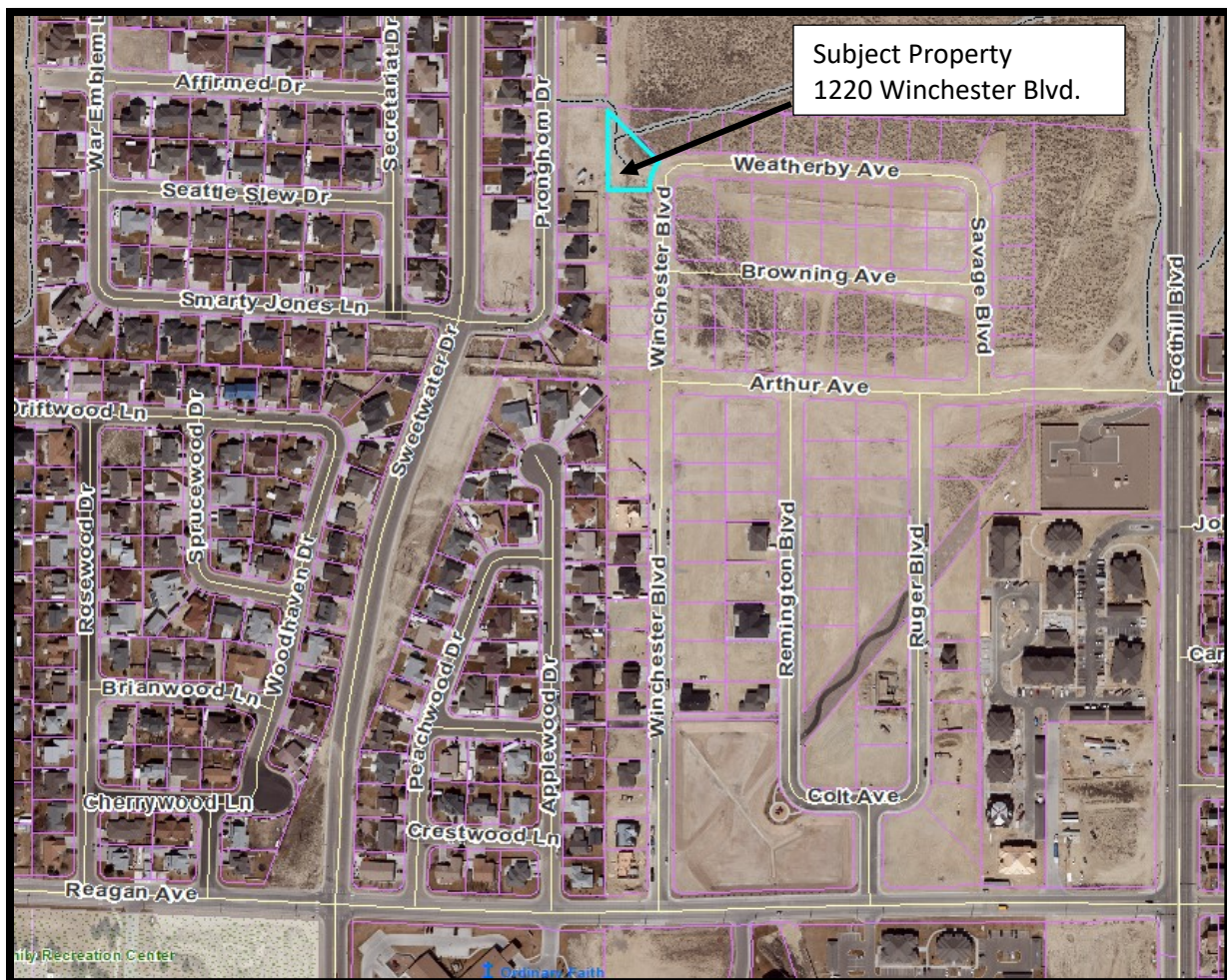


Figure 1: Location Map (2015 Aerial Photo)



The subject property is legally described as Lot 89 of the Gunsight Estates Phase 3 Subdivision. As Figure 2 shows, the property is located adjacent to a 10' wide pedestrian walking path. Additionally, the property backs up to a 20' side drainage easement that was platted as part of the Pronghorn Estates Subdivision.

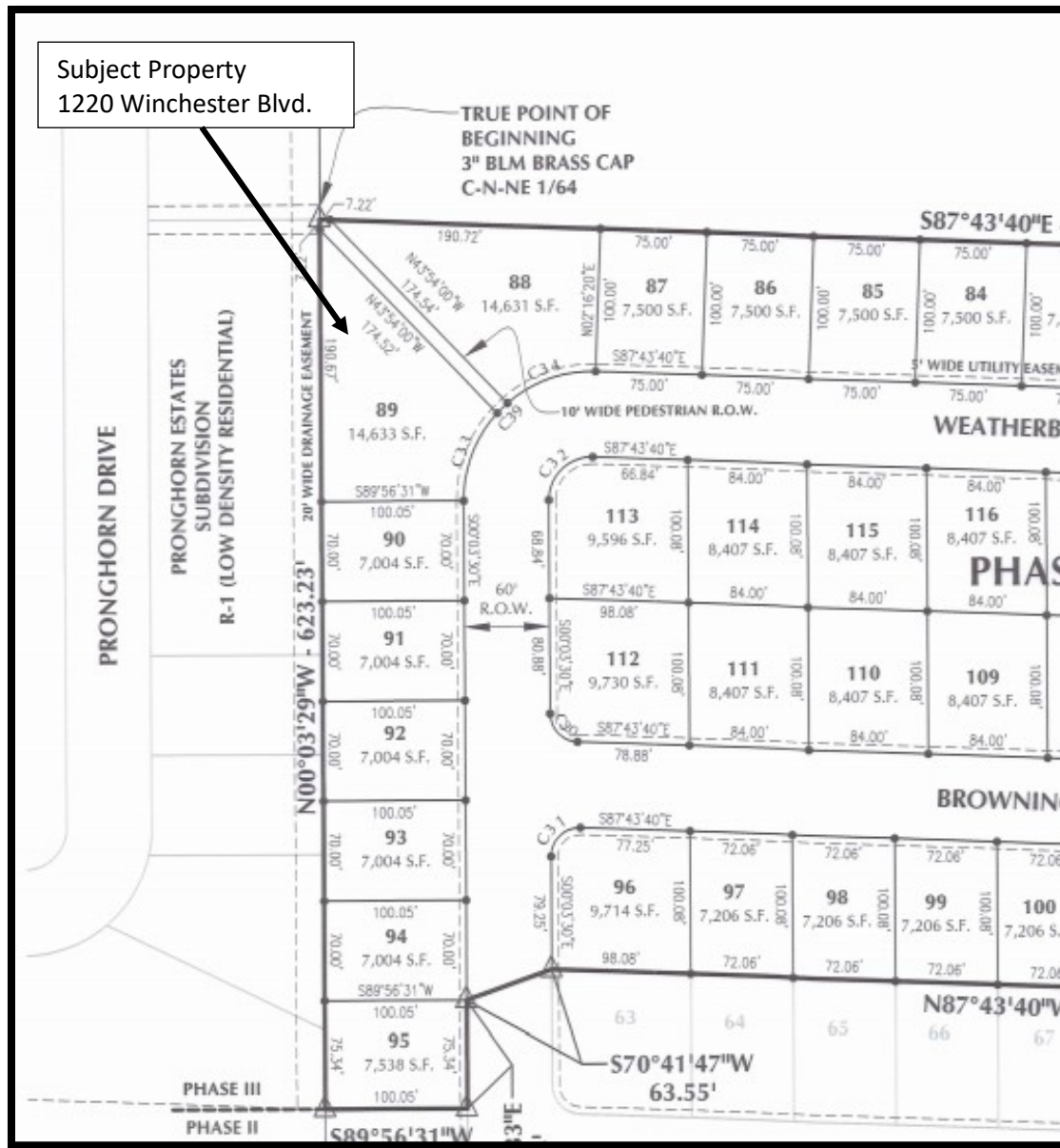


Figure 2: Gunsight Estates Phase 3

The following photos (**Figures 3 - 5**) show the project site:



*Figure 3: Project Site (picture taken from the front of the property)*



*Figure 4: Project Site (Picture taken from side property line)*



*Figure 5: Project Site*

#### **UTILITY REVIEW:**

Due to the size of the proposed structure and its proximity to the Public Pedestrian Right-of-Way and 20' drainage easement, the site plan was forwarded to the Utility Review Committee for comment on November 22, 2019. Other than approvals, only the following two comments were received:

- Drainage shall not affect adjacent properties. All site drainage shall be conveyed to the Winchester right-of-way. (Meghan Jackson, Rock Springs Engineering).
- Rocky Mountain Power will need power load for house plus garage. (Kyle Graham, Rocky Mountain Power).

#### **PUBLIC NOTIFICATION:**

Public Hearing Notice letters were mailed to property owners located within 200 feet of the boundaries of the subject property on November 21, 2019. Refer to **Exhibit D**.

To date, one (1) written comment has been received from James and Tammy Pennington of 1221 Pronghorn Drive (the property located behind the subject property. Please refer to **Exhibit E**.

#### **PROCEDURE:**

Conditional Use Permits are reviewed in accordance with §13-905. The Planning and Zoning Commission grants the final determination of the Conditional Use Permit. They are not forwarded to the City Council for review. As noted in §13-905.D., the Commission “shall consider the effect of the proposed use upon the health, safety, and general welfare of occupants of surrounding lands, existing and anticipated traffic conditions including parking facilities on adjacent streets and land, and the effect of the proposed use on the Comprehensive Plan.

The Commission may grant the application by motion, imposing such conditions and safeguards as it deems necessary, or it may deny the application.”

**STAFF RECOMMENDATION:**

Staff will provide a formal recommendation after the public comment portion of the public hearing.

At a minimum, staff recommends the following conditions of approval be attached if approved:

1. The applicant is responsible to comply with all comments/conditions of the Utility Review Committee.
2. The garage shall only be used for personal residential garage use.
3. Construction shall conform to the approved site plan and application, including required setbacks from property lines. Eaves, gutters and awnings shall not be located any closer than three (3) feet from the side and rear property line. Any changes to building location shall require submittal of a revised site plan.
4. A surveyor’s certificate is to be provided attesting that an inspection of the property pins and setbacks conform to the approved site plan prior to footing inspection (measured from the footing forms).
5. All driveways leading to a detached garage shall be paved with asphalt or concrete up to the fence line separating the front yard from the back yard, or in the case where no fence is present, to the front building line of the principal structure.
6. Height of the garage shall not exceed the height of the principal structure.
7. Planning approval does not constitute building permit approval. Contact the City of Rock Springs Building Department to obtain a building permit for the garage.



EXHIBIT A



2019  
CITY OF ROCK SPRINGS  
CONDITIONAL USE PERMIT  
APPLICATION

Planning & Zoning Division  
212 D Street  
Rock Springs WY 82901  
307.352.1540 (phone)  
307.352.1545 (fax)

City Use Only:

Date Received 11-5-19 File Number: P219-00342  
Payment Information:  
Amount Received: 600- Received by: cey  
Cash or Check Number: cash Receipt Number: 11-07-01260  
Date Certified as Complete Application: \_\_\_\_\_ By: \_\_\_\_\_

A. PROPERTY ADDRESS: 1220 Winchester Blvd

(NOTE: IF THE PROPERTY DOES NOT HAVE AN EXISTING ASSIGNED ADDRESS, LEGAL DOCUMENTATION OF THE LOCATION MUST BE SUBMITTED - i.e. Property Tax ID Number, Legal Description, etc.)

B. CONTACT INFORMATION:

**NOTE:** The City of Rock Springs will only send correspondence to the names and mailing addresses provided on this application. Attach a separate sheet if necessary.

Petitioner Information:

Petitioner Name: Marlene Chavez  
Company Name: \_\_\_\_\_  
Street Address: 317 Pinion St  
City: Rock Springs State: WY Zip Code: 82901  
Email Address: mchavez6@hotmail.com  
Phone Number: 307-371-5455 Fax Number: \_\_\_\_\_  
(including area code) (including area code)

Property Owner Information:

Name: same  
Company Name: \_\_\_\_\_  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Email Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax Number: \_\_\_\_\_  
(including area code) (including area code)

Engineer / Architect Information:

Name: WEST  
Company Name: WEST  
Street Address: 2634 Commercial Way  
City: Rock Springs State: WY Zip Code: 82901  
Email Address: \_\_\_\_\_  
Phone Number: 307-382-6588 Fax Number: \_\_\_\_\_  
(including area code) (including area code)

**C. CONDITIONAL USE PERMIT(S) REQUESTED (check all that apply):**

**C.U.P. Requiring  
Planning and Zoning Commission Approval**

- ☐ Adjusted Front Setback
- ☐ Bed and Breakfast Inn
- ☐ Corner Side Yard Attached Carport
- ☒ Detached Garage Exceeding 1,200sf
- ☐ Gas Pumps & Fueling Stations
- ☐ Lot Coverage Exceeding 50%
- ☐ Off-Site Parking
- ☐ Use of Explosives
- ☐ Other, please specify: \_\_\_\_\_

**C.U.P. Requiring  
Staff Level Approval**

- ☐ Accessory Structure Exceeding Height of Primary Structure
- ☐ Special Purpose Fence
- ☐ Unpaved Parking Area
- ☐ Land Reclamation, Mining, & Soil Processing
- ☐ Garage Exceeding Three (3) Doors
- ☐ Driveway Access Exceeding 65% Street Frontage

**D. PLEASE ANSWER THE FOLLOWING ON THE SPACES PROVIDED:**

1. Provide a detailed description of the intended Conditional Use, including proposed use, length of use (permanent or temporary), hours of operation, etc.

Personal use, storage, mechanical  
(1,725 sq. feet)

2. Describe all structures located on this property, including existing and proposed structures. **A site plan shall accompany this application.** Please refer to the enclosed Site Plan Checklist.

Single Family home with proposed detached garage

#### **E. SUBMITTAL REQUIREMENTS:**

The following items are required for submitting a complete Conditional Use Permit / Site Plan Application and must be submitted in accordance with the submittal deadlines listed on Page 4 of this application. Applications submitted after the submittal deadlines as listed will be postponed until the following month. An incomplete application will not be reviewed and will be returned to the petitioner.

- ☐ Filing Fee - \$60.00
- ☐ 2 – Full-size Site Plan drawings drawn to scale (folded)
- ☐ 1 - 11x17 Site Plan drawing drawn to scale (if full-size drawing is larger than 11x17)
- ☐ 1 – PDF scanned at full-size of Site Plan drawing (submitted electronically to city\_planner@rswy.net)
- ☐ Building Elevations / Architectural Drawings (to scale)

#### **F. SITE PLAN CHECKLIST**

The following items shall be shown on your site plan (check them off as you consider each one):

- ☐ Project Address
- ☐ Location map
- ☐ Names and mailing addresses of developer / owner and engineer / architect
- ☐ Boundary line of property with all dimensions
- ☐ Adjacent streets and street rights-of-way
- ☐ Gross square footage of existing and proposed structures, including number of floors
- ☐ All paved and unpaved surfaces
- ☐ Parking facilities (including handicap parking) – including dimension of parking stalls, drive aisle widths, etc.
- ☐ Buildings and structures (existing and proposed), including setbacks from property lines for all structures
- ☐ Easements (access, utility, drainage, pedestrian, etc.)
- ☐ Utilities
- ☐ Landscaping
- ☐ Exterior signs
- ☐ Trash enclosures
- ☐ Surface water drainage arrows
- ☐ Location of Floodplain and/or Floodway on property, if applicable (separate Floodplain Development Permit Application also required)

#### **G. APPROVAL PROCESS AND SUBMITTAL DEADLINES**

##### **CONDITIONAL USE PERMITS - STAFF LEVEL APPROVALS**

Application submittal...	will be considered complete per Section E of this application.
Within 5 working days after application submittal...	Planning staff will notify all neighboring properties located within 200 feet of request.
At least 6 calendar days after application submittal...	a Utility Review meeting may be scheduled, dependent upon the type of application submitted.
No sooner than 10 calendar days after neighbor notification...	a Permit Determination shall be made. Permit Determination shall include such conditions as are deemed necessary to protect the health, safety and welfare of the community and surrounding neighborhood.
Within 10 working days of Permit Determination...	the decision of the Zoning Administrator may be appealed to the Planning & Zoning Commission via written request.

**H. SIGNATURE(S) REQUIRED:**

I acknowledge that I have read and understand this application and the pertinent Ordinances of the City of Rock Springs. I further agree if the permit is approved, I will comply with all pertinent regulations and conditions as set forth by the City of Rock Springs. I certify that the information provided with this application is true and correct and false or inaccurate information used by an applicant to secure compliance with the Zoning Ordinance shall be reason to deny or revoke any application or permit. I understand that it the responsibility of the developer and/or property owner to secure any and all required Local, Federal and State Permits (i.e. DEQ permits, County Permits, etc.) and I agree to contact those agencies accordingly.

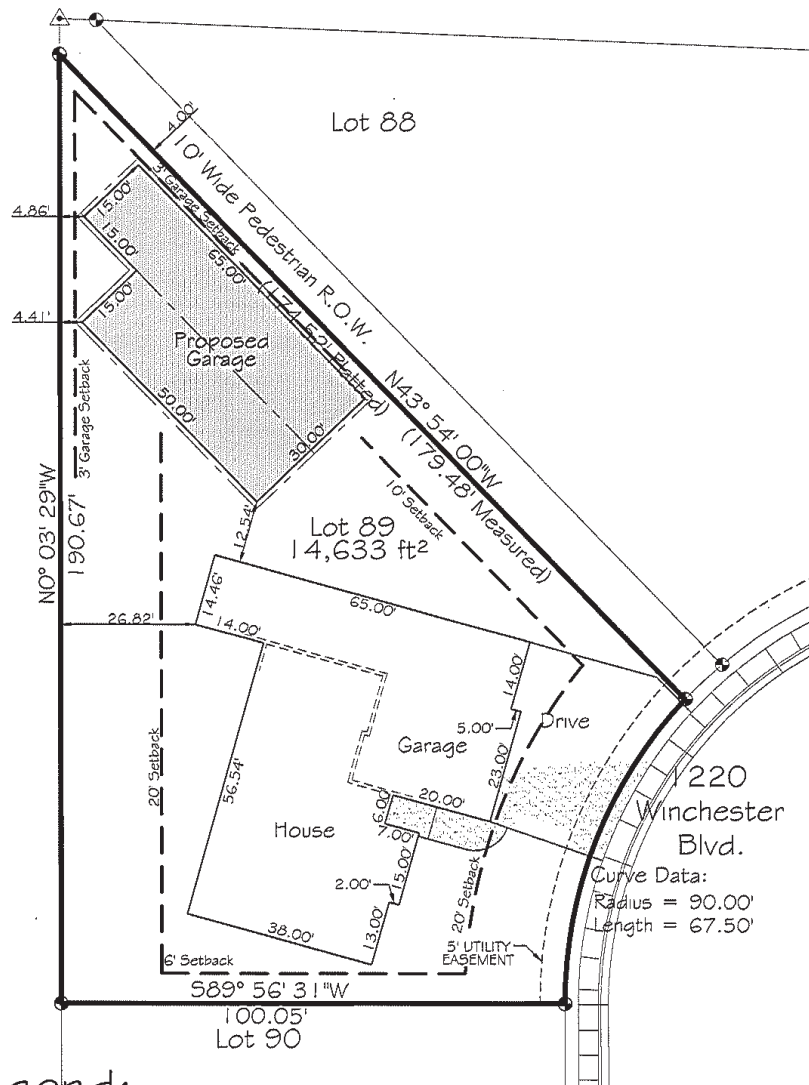
Signature of Applicant Monline Chaney Date 11-5-19

Signature of Owner Monline Chaney (under contract) Date 11-5-19

Signature of Engineer/Architect (if applicable) \_\_\_\_\_ Date \_\_\_\_\_



# EXHIBIT B



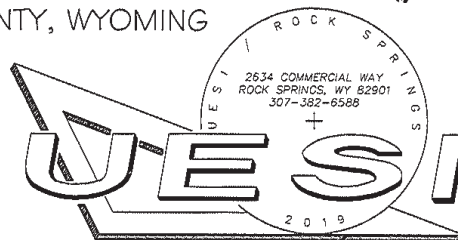
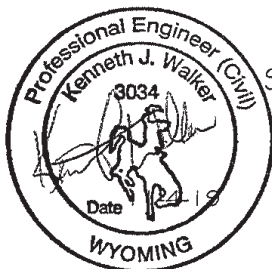
## Legend:

- Property Bdry.
- House Footprint
- - - Setback Line
- - - Easement Line
- ⊕ Property Corner

(REV. 11-25-19)

## Garage Plot Plan

LOT 89 of the  
GUNSIGHT ESTATES PHASE 3  
LOCATED IN THE E½ NE¼ OF  
SECTION 28, T19N, R105W,  
6th PM, ROCK SPRINGS  
SWEETWATER COUNTY, WYOMING



DATE: 11/14/19 JOB #: 19-07-06 FILE: Plot Plan.dwg  
ENGINEER: Ken Walker, P.E. Drawn By: Dave Johnson

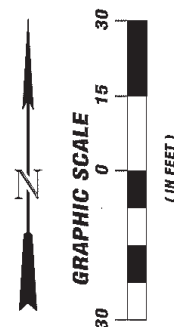


EXHIBIT C



COVER SHEET

© Copyright 2014 CORY GREY  
DESIGNS. This drawing is the property  
of CORY GREY DESIGNS, LLC and shall  
not be duplicated in any form or used  
as the basis for any new plan.

PLANNED FOR  
AMUNDSEN CONSTRUCTION  
1220 WINCHESTER  
ROCK SPRINGS, WY

CORY GREY DESIGNS  
PO Box 1173  
Lynman, WY  
307-352-9880  
CORYGREYDESIGNS.COM



DATE	REVISION	REVISION
OCT 31, 14		



GARAGE  
ANSI 1/8" = 1'-0"  
SCALE 1/8" = 1'-0"

AREA  
MAIN  
LOWER  
SQ.FT.  
SQ.FT.

GENERAL NOTES	BUILDING INFORMATION		DRAWING INDEX	
<p>WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED AND THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS PROCESS.</p> <p>UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.</p> <p>ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.</p> <p>COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR.</p> <p>NOTE THAT ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.</p> <p>MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED.</p>	BUILDER	AMUNDSEN CONSTRUCTION	0	COVER SHEET
	OWNER		A1.1	ELEVATIONS
	ADDRESS	1220 WINCHESTER ROCK SPRINGS, WY.	A3.1	MAIN FLOOR PLAN
	ENGINEER		A3.2	MAIN FLOOR PLAN-DIMENSIONS
			A4.1	FOOTING / FOUNDATION PLAN
SQUARE FOOTAGE			E6.1	MAIN ELECTRICAL LAYOUT
	MAIN LEVEL	SQ.FT.	S7.1	ROOF FRAMING PLAN
	LOWER LEVEL	SQ.FT.	S8.1	BUILDING SECTION
TOTAL		SQ.FT.	S9.1	DETAIL SHEET 1
			S9.2	DETAIL SHEET 2
CODE ANALYSIS			S10.1	STRUCTURAL NOTES
			S10.2	NOTES
BUILDING OCCUPANCY:		COMPLIANCE:	S11.1	
	R-3	2015 IRC 2011 NEC	S12.1	
	TYPE 5	2012 IBC 2012 IMC	S13.1	
	CONSTRUCTION TYPE:	2011 IF6C 2012 IF6C	S14.1	
	B-CONSTRUCTION		S15.1	

# **GENERAL NOTES:**

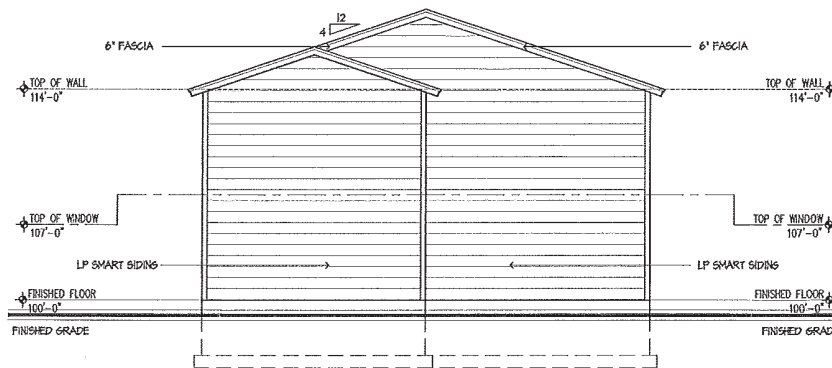
Compliance with codes and ordinances governing the work shall be made and enforced by the general contractor. General contractor shall verify all existing conditions and dimensions prior to construction. Note that all written dimensions take precedence over scale. Manufacturers specifications for installation of materials shall be followed. Markmanship throughout shall be of the best quality of the trade involved and the general contractor shall coordinate the work of the various trades to expedite the job in a smooth and continuous process.

# **WINDOW NOTES:**

Bedroom windows to have a finished sill height max. of 44" from floor. Windows to have 20" min. clear width and 24" min. clear height. Bedroom windows to be a min. of 5.7 sq. ft. Windows to be sized at 1/10th for the sq. ft. for glass size and 1/20th of sq. ft. for ventilation requirements. Windows within 18" of the floor to be of tempered glass.

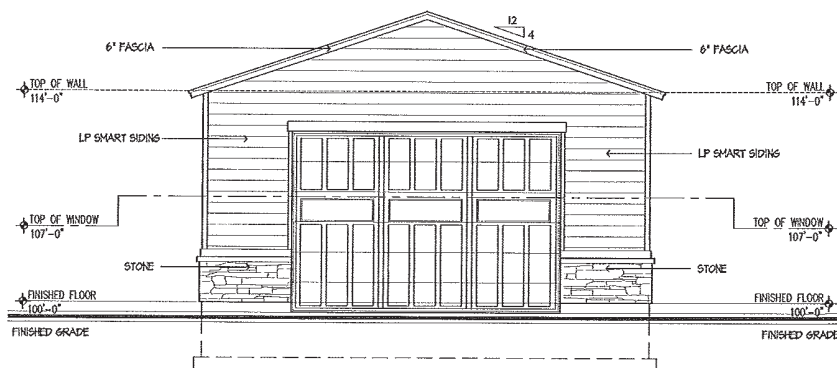
# **EXCAVATION NOTES:**

All footings shall bear on natural undisturbed soil. Footings shall be excavated to a minimum depth so as to provide frost protection, (30" min.) Finish grading shall be done so as to provide positive drainage away from all building foundations, a minimum slope of 2% shall be maintained for first 10'-0" with 1% slope thereafter to approved drainage area.



**REAR ELEVATION**

THE UTMOST CARE HAS BEEN TAKEN IN PREPARATION OF THESE PLANS, HOWEVER, THE PREPARER ASSUMES NO FINANCIAL LIABILITY RESULTING FROM ERRORS IN THESE PLANS. THESE PLANS ARE NOT ALL-INCLUSIVE OF LOCAL AND STATE BUILDING CODES. IT IS THE BUILDING CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS CAREFULLY BEFORE CONSTRUCTION AND TO BUILD THE STRUCTURE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.



**FRONT ELEVATION**

# **ATTIC VENTILATION NOTES:**

The net free ventilation area shall not be less than 1/300th provided that at least 50% of the area is provided by ventilators located in the upper portion of the space to be ventilated; the other to be provided by vented soffit systems.

**FRONT / REAR ELEVATIONS**

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PLANNED FOR:  
AMUNDSEN CONSTRUCTION  
1420 KAMMERLISTER  
ROCK SPRINGS, WY

**CORY GREY DESIGNS**

PO Box 1173  
Lytton, WY

307-332-8890

CORYGREYDESIGNS.COM



PHASE ALL

DATE OCT 31, 14

REVISION

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**Amundsen**  
CONSTRUCTION INC.

GARAGE  
8'6" X 11' X 11'  
SCALE 1/8" = 1'-0"

AREA  
MAIN  
LOVER  
SQ. FT.  
SQ. FT.

# GENERAL NOTES:

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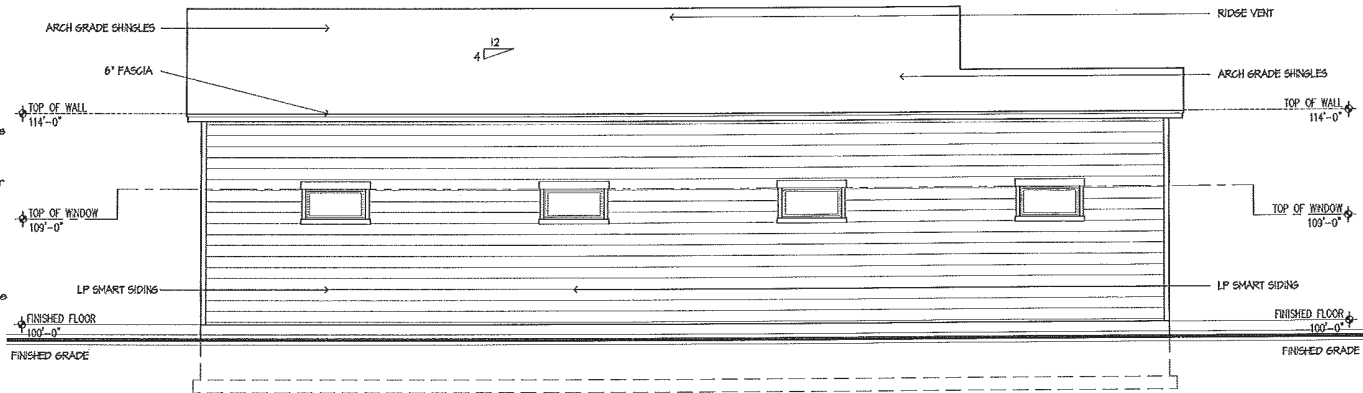
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## EXCAVATION NOTES:

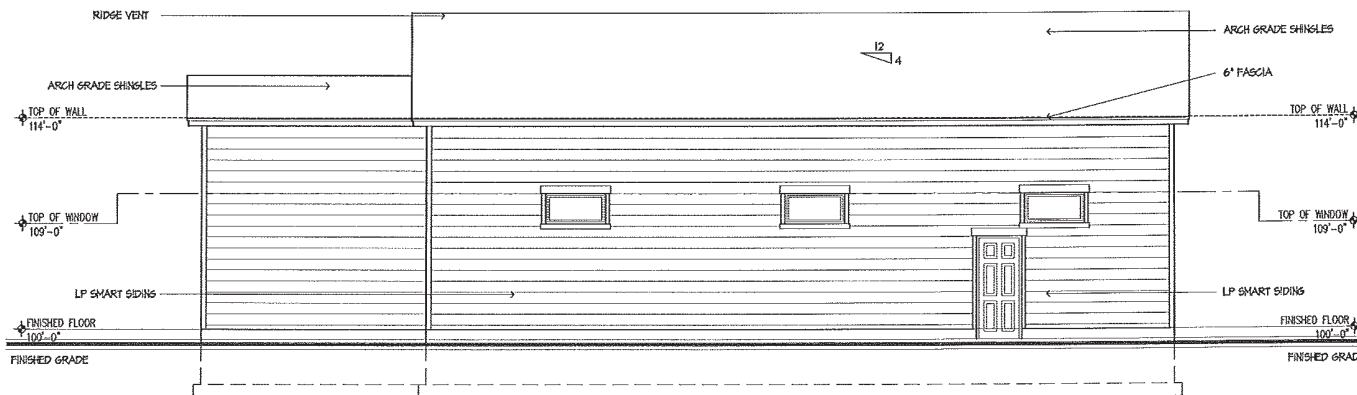
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## RIGHT ELEVATION



THE UTMOST CARE HAS BEEN TAKEN IN PREPARATION OF THESE PLANS, HOWEVER, THE PREPARER ASSUMES NO FINANCIAL LIABILITY RESULTING FROM ERRORS IN THESE PLANS. THESE PLANS ARE NOT ALL-INCLUSIVE OF LOCAL AND STATE BUILDING CODES. IT IS THE BUILDING CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS CAREFULLY BEFORE CONSTRUCTION AND TO BUILD THE STRUCTURE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

## LEFT ELEVATION



## ATTIC VENTILATION NOTES:

The net free ventilation area shall not be less than 1/300th provided that at least 50% of the area is provided by ventilators located in the upper portion of the space to be ventilated, the other to be provided by vented soffit systems.

## RIGHT / LEFT ELEVATIONS

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PLANNED FOR  
AMUNDSEN CONSTRUCTION  
1220 WINCHESTER  
ROCK SPRINGS, WY

CORY GREY DESIGNS  
PO Box 1173  
Lymen, WY  
307-352-9890  
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GARAGE  
ANSI "B" 11" X 17"  
SCALE 1/8" = 1'-0"

AREA  
MAIN  
LOWER  
SQ. FT.  
SQ. FT.



All exterior doors shall have a floor or landing on each side of the door. The floor or landing at a door shall not be more than 1.5 inches lower than the top of the threshold. If the door is not a req. exit door the landing shall not exceed 8" from top of threshold. All landings shall be not less than 36" wide measured in the direction of travel.

THE UTMOST CARE HAS BEEN TAKEN IN PREPARATION OF THESE PLANS, HOWEVER, THE PREPARER ASSUMES NO FINANCIAL LIABILITY RESULTING FROM ERRORS IN THESE PLANS. THESE PLANS ARE NOT ALL-INCLUSIVE OF LOCAL AND STATE BUILDING CODES. IT IS THE BUILDING CONTRACTOR'S RESPONSIBILITY TO CHECK THESE PLANS CAREFULLY BEFORE CONSTRUCTION AND TO BUILD THE STRUCTURE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

Arch-fault circuit interrupters are required on all branch circuits that supply 125-volts, single phase, 15- and 20-amp receptacle outlets in dwelling unit bedrooms (NEC art. 210-12)

NOTES:  
2x6 EXTERIOR FRAMING  
14'-0" PLATE HEIGHT

SHOP  
6" CONC. SLAB OVER  
COMPACTED FILL

4" SLOPE MIN.

#### GENERAL NOTES:

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Workmanship throughout shall be of the best quality of the trade involved and the general contractor shall coordinate the work of the various trades to expedite the job in a smooth and continuous process.

#### FIRE PROTECTION:

Provide 5/8" type "x" gyp. board on all the walls and ceilings of garage, nail @ 6" o.c.. All beams and structural members shall be protected with 5/8" gyp. board. Self closer door between garage and house shall be solid core wood or "B" labeled door not less than 1 3/4". Protect enclosed usable space under stairs with 5/8" gyp. board fire blocking at stud cavities that are greater than 8'-0"

36" LANDINGS

18'-0" X 12'-0" OD

## MAIN FLOOR PLAN

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PLANNED FOR  
AMUNDSEN CONSTRUCTION  
1220 MINCHESTER  
ROCK SPRINGS, KY

CORY GREY DESIGNS

PO Box 1173  
Lyman, WY  
307-552-8800  
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DATE OCT 31, 14  
REVISION  
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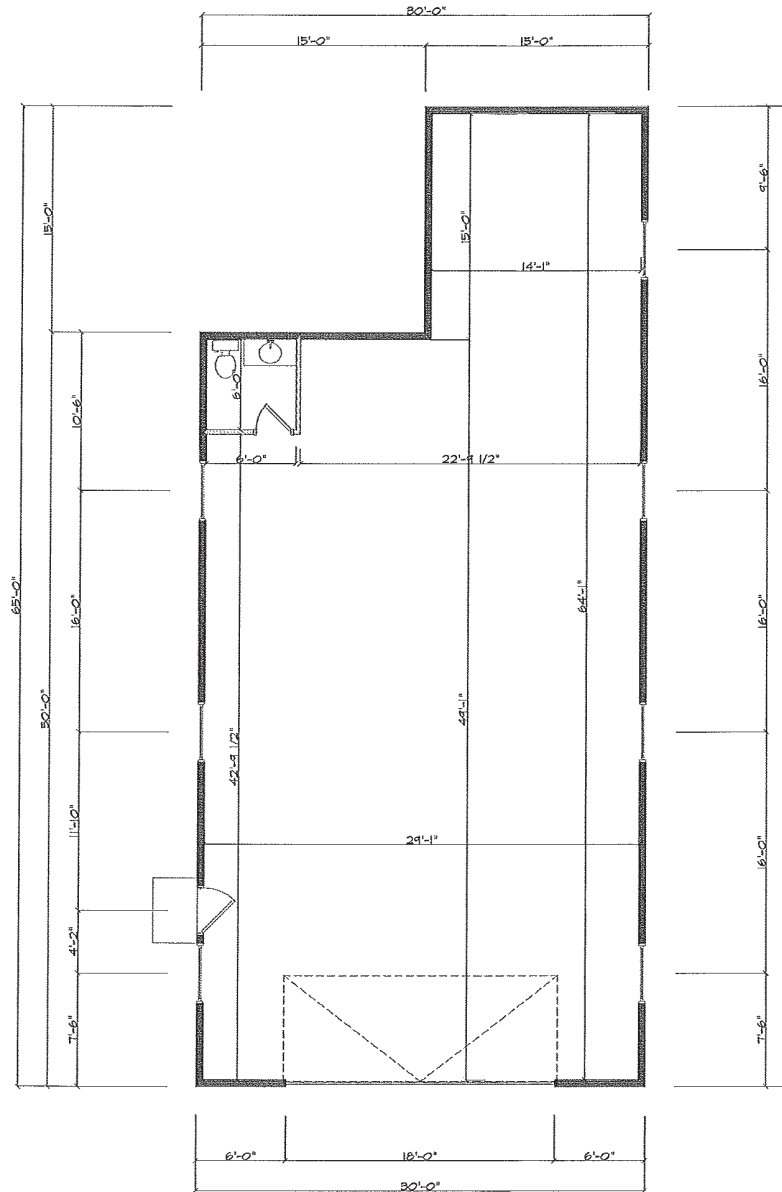
GARAGE  
ANSI "B" 1/8" X 1/8"  
SCALE 1/8" = 1'-0"

AREA  
MAIN  
LOWER  
SQ. FT.  
SQ. FT.

Arch-fault circuit interrupters are required on all branch circuits that supply 125-volts, single phase, 15- and 20-amp receptacle outlets in dwelling unit bedrooms (NEC art. 210-12)

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NOTES:  
2x6 EXTERIOR FRAMING  
14'-0" PLATE HEIGHT

#### GENERAL NOTES:

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#### MAIN FLOOR PLAN-DIMENSIONS

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PLANNED FOR:  
AMUNDSEN CONSTRUCTION  
1220 WINCHESTER  
ROCK SPRINGS, WY

CORY GREY DESIGNS  
PO Box 1173  
Lyman, WY  
307-352-8880  
CORYGREYDESIGNS.COM



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GARAGE	ANSI 1/8" = 1'-0"
SCALE	1/8" = 1'-0"
AREA	
MAIN	SOFT.
LOWER	SOFT.



November 21, 2019

Dear Property Owner and/or Interested Party:

This letter is to inform you that Marlene Chavez (petitioner – property under contract), has applied to the City of Rock Springs for the following Conditional Use Permit relative to the construction of a proposed detached accessory structure to be located on property addressed as **1220 Winchester Blvd.**, Rock Springs, Wyoming. Records show that this property is adjacent to or near property you own (see map below).

**REQUEST TO BE CONSIDERED BY THE ROCK SPRINGS PLANNING AND ZONING COMMISSION:**

- 1) The applicant is requesting Conditional Use Permit approval for the construction of a 1,725 square foot residential detached accessory structure. Please refer to the enclosed site plan. In accordance with §13-815.E(4) of the Rock Springs Zoning Ordinance, “No residential accessory building or garage shall exceed 1,200 square feet of floor area unless granted a Conditional Use Permit” by the Rock Springs Planning and Zoning Commission.

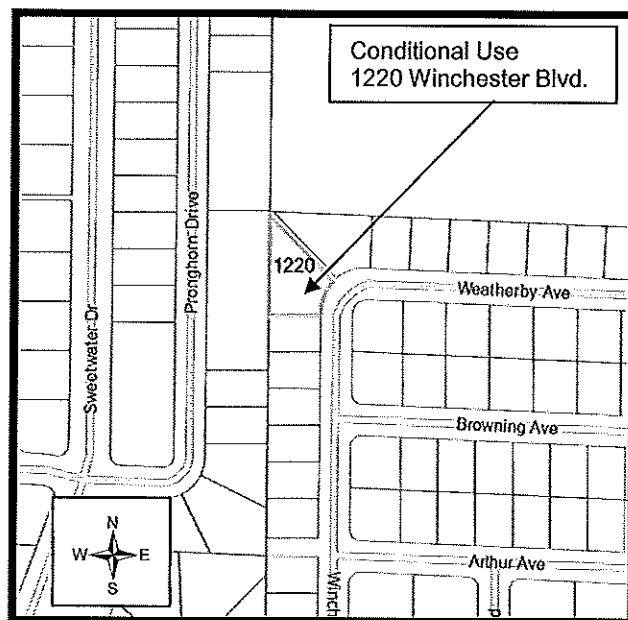
The Rock Springs Planning and Zoning Commission will consider this request at a public meeting held on **Wednesday, December 11, 2019, at 7:00 p.m.** in the Rock Springs City Hall Council Chambers, 212 ‘D’ Street, Rock Springs, Wyoming. Interested persons or parties are encouraged to attend the meeting or submit written comments. Written comments will be accepted no later than **Noon on Wednesday, December 11, 2019.**

If you have any questions regarding this information, please contact the Planning and Zoning Division at (307) 352-1540.

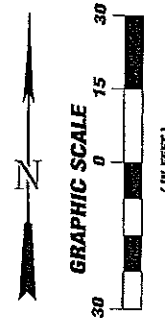
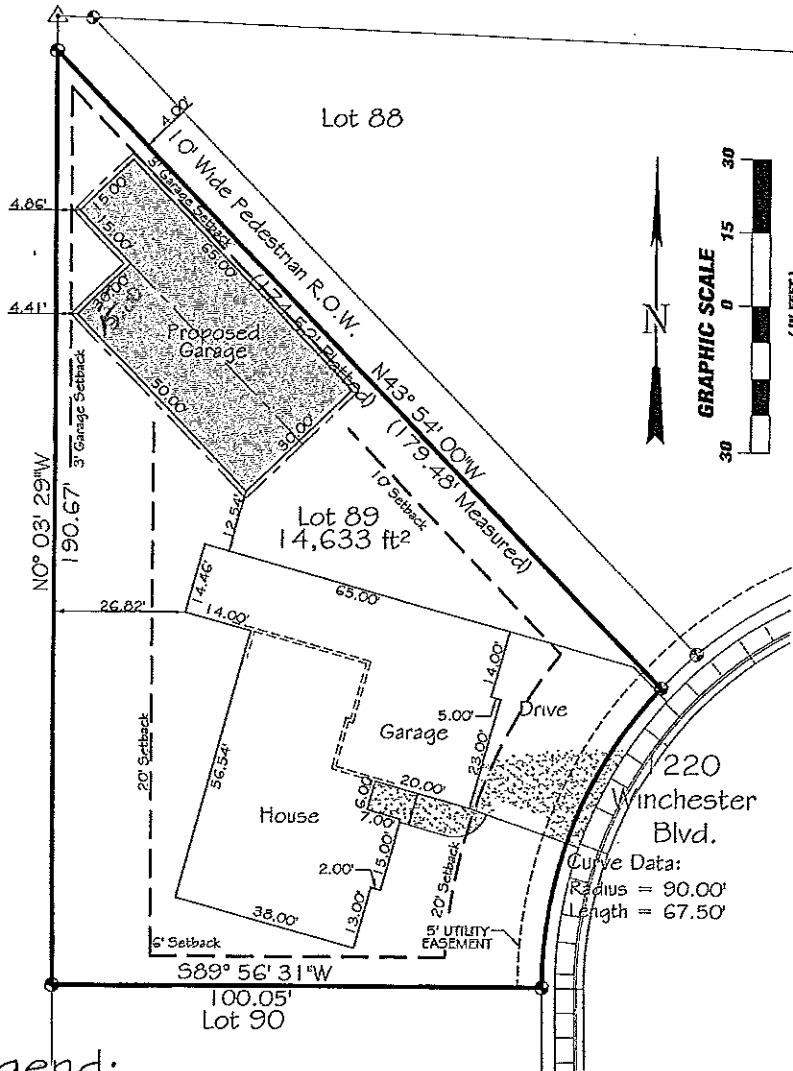
Sincerely,

*Laura Leigh*  
 Laura Leigh, AICP  
 City Planner

Enc.

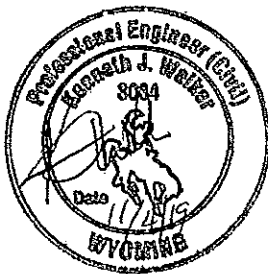


# Reduced Site Plan

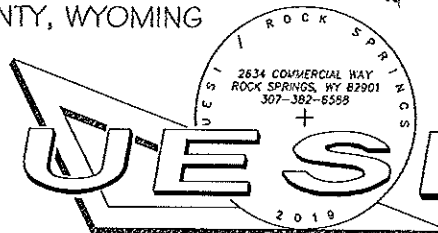
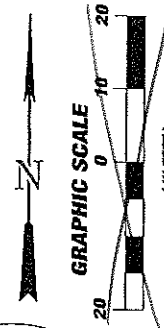


## Legend:

- Property Bdry.
- House Footprint
- - - Setback Line
- - - Easement Line
- Property Corner



**Garage Plot Plan**  
LOT 89 of the  
GUNSIGHT ESTATES PHASE 3  
LOCATED IN THE E½ NE¼ OF  
SECTION 28, T19N, R105W,  
6th PM, ROCK SPRINGS  
SWEETWATER COUNTY, WYOMING



DATE: 11/4/19 JOB #: 19-07-06 FILE: Plot Plan.dwg  
ENGINEER: Ken Walker, P.E. Drawn By: Dave Johnson





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Use Avery Template 5160 |

AMUNDSEN CONSTRUCTION  
2501 LACEBARK LN  
ROCK SPRINGS, WY 82901-7521

ANDERSON TERRY B & MONICA R  
1213 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6893

BERNATIS TERRY D & DANIELLE A  
1230 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6894

CALVEY DANIEL & CHRISTY  
1300 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6892

GUNSIGHT PROPERTIES INC  
46 RELIANCE RD  
ROCK SPRINGS, WY 82901-9710

HAAPALA PAUL D & ELISE A  
1226 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6894

**HOLLY SPIRIT CATHOLIC COMMUNITY**  
**116 BROADWAY ST**  
**ROCK SPRINGS, WY 82901-6151**

KAUMO KEVIN C & BAILEY R  
2247 BROWNING AVE  
ROCK SPRINGS, WY 82901

KNUDSEN CHANDLER C & ASHLEY M  
 1304 PRONGHORN DR  
 ROCK SPRINGS, WY 82901-6892

MULLINS MIKE K  
1218 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6894

PENNINGTON JAMES & TAMMY  
1221 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6893

RAMSAY BEAU W  
2249 WEATHERBY AVE  
ROCK SPRINGS, WY 82901

SMITH REED K & MELINDA K  
1301 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6891

TANGEN KRISTA L  
1222 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6894

VARLEY JANICE M  
1214 WINCHESTER BLVD  
ROCK SPRINGS, WY 82901

VESCO KAREN A  
1208 WINCHESTER BLVD  
ROCK SPRINGS, WY 82901

WESTBROOK DEMETRIUS &  
PHYSHAUNT  
1217 PRONGHORN DR  
ROCK SPRINGS, WY 82901-6893

CITY OF ROCK SPRINGS  
212 D STREET  
ROCK SPRINGS, WY 82901

CHAVEZ MARLENE  
317 PINION STREET  
ROCK SPRINGS, WY 82901

## EXHIBIT E

Pennington Residence  
1221 Pronghorn Dr.  
Rock Springs, WY 82901

RECEIVED  
12-2-19

To whom it may concern:

We received a letter in the mail to inform us of a detached structure that is going to be built at 1220 Winchester Blvd. One concern we would like to bring forward is the distance from our fence line to the structure to be built. Our fence was broken buy the construction company while building a retaining wall for the property directly behind our house. We had to file a small claim with the courts to try and get this fixed because the construction company keeps giving us the go around. We do not care about the structure being built we just want to make sure they are far enough away from the fence and do not do anymore damage.

Thank you,

James and Tammy Pennington